



**AGENDA**  
**Planning and Zoning Commission**  
Prosper Town Hall, Council Chambers  
250 W. First Street, Prosper, Texas  
Tuesday, April 23, 2024  
**6:00 PM**

Welcome to the Prosper Planning & Zoning Commission Meeting.

Citizens may watch the meeting live by using the following link: [www.prospertx.gov/livemeetings](http://www.prospertx.gov/livemeetings)

**Addressing the Planning & Zoning Commission:**

Those wishing to address the Planning & Zoning Commission must complete the Public Comment Request Form located on the Town's website or in the Council Chambers.

**If you are attending in person**, please submit this form to the Town Secretary or the person recording the minutes for the Board/Commission prior to the meeting. When called upon, please come to the podium, and state your name and address for the record.

**If you are watching online**, please submit this form to the Town Secretary prior to 4:00 p.m. on the day of the meeting in order for your comments to be read into the record. The Town assumes no responsibility for technical issues beyond our control.

In compliance with the Texas Open Meetings Act, the Town Council/Board/ Commission may not deliberate or vote on any matter that does not appear on the agenda. The Council/Board/Commission, however, may provide statements of fact regarding the topic, request the topic be included as part of a future meeting, and/or refer the topic to Town Staff for further assistance.

Citizens and other visitors attending Planning & Zoning Commission meetings shall observe the same rules of propriety, decorum, and good conduct applicable to members of the Commission. Any person making personal, impertinent, profane or slanderous remarks or who becomes boisterous while addressing the Commission or while attending the meeting shall be removed from the room, if so directed by the Mayor or presiding officer, and the person shall be barred from further audience before the Commission during that session of the meeting. Disruption of a public meeting could constitute a violation of Section 42.05 of the Texas Penal Code.

1. Call to Order / Roll Call.
2. Pledge of Allegiance.

**CONSENT AGENDA:**

Items placed on the Consent Agenda are considered routine in nature and are considered non-controversial. The Consent Agenda can be acted upon in one motion. Items may be removed from the Consent Agenda by the request of a Commission Member or Staff.

- 3a. Consider and act upon the minutes from the April 2, 2024, Planning & Zoning Commission work session.
- 3b. Consider and act upon the minutes from the April 2, 2024, Planning & Zoning Commission regular meeting.

- [3c.](#) Consider and act upon a request for a Site Plan for Medical Offices on Prosper Center, Block B, Lot 3, on 5.6± acres, located on the north side of Prairie Drive and 300± feet west of Mahard Parkway. (DEVAPP-23-0093)
- [3d.](#) Consider and act upon a request for a Revised Conveyance Plat of Gates of Prosper, Phase 2, Block B, Lot 2R, and Block D, Lots 2-3, on 114.2± acres, located on the southwest corner of Gateway Drive and Lovers Lane. (DEVAPP-23-0168)
- [3e.](#) Consider and act upon a request for a Site Plan for a Big Box, Gas Pumps with Kiosk, and a Car Wash, on Frontier Retail Center, Block A, Lot 6, on 16.9± acres, located on the south side of Frontier Parkway and 250± feet east of Dallas Parkway. (DEVAPP-23-0182)
- [3f.](#) Consider and act upon a request for a Final Plat of Frontier Retail Center, Block A, Lot 6, on 16.9± acres, located on the south side of Frontier Parkway and 250± feet east of Dallas Parkway. (DEVAPP-23-0179)
- [3g.](#) Consider and act upon a request for a Façade Plan for a Big Box, Gas Pumps with Kiosk, and a Car Wash, on Frontier Retail Center, Block A, Lot 6, on 16.9± acres, located on the south side of Frontier Parkway and 250± feet east of Dallas Parkway. (DEVAPP-23-0180)
- [3h.](#) Consider and act upon a request for a Site Plan for Multifamily Buildings and Leasing Office on Gates of Prosper, Phase 2, Block D, Lot 3, on 16.0± acres, located on the northwest corner of Bravo Way and Richland Boulevard. (DEVAPP-23-0210)
- [3i.](#) Consider and act upon a request for a Final Plat of Gates of Prosper, Phase 2, Block D, Lot 3, on 16.0± acres, located on the northwest corner of Bravo Way and Richland Boulevard. (DEVAPP-23-0211)
- [3i.](#) Consider and act upon a request for a Façade Plan for Multifamily Buildings and a Leasing Office on Gates of Prosper, Phase 2, Block D, Lot 3, on 16.0± acres, located on the northwest corner of Bravo Way and Richland Boulevard. (DEVAPP-23-0212)

### **CITIZEN COMMENTS**

The public is invited to address the Commission on any topic. However, the Commission is unable to discuss or take action on any topic not listed on this agenda. Please complete a “Public Comment Request Form” and present it to a staff member prior to the meeting.

### **REGULAR AGENDA:**

If you wish to address the Commission, please fill out a “Public Comment Request Form” and present it to the Chair, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Planning & Zoning Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may either address the Commission during the Citizen Comments portion of the meeting or when the item is considered by the Planning & Zoning Commission.

- [4.](#) Conduct a Public Hearing and consider and act upon a request to rezone 47.0± acres from Planned Development-75 to a Planned Development for Multifamily and Mixed-Use, located at the northwest corner of Dallas Parkway and Prosper Trail. (ZONE-24-0001)



5. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.
6. Adjourn.

### **CERTIFICATION**

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday, April 19, 2024, and remained so posted at least 72 hours before said meeting was convened.

\_\_\_\_\_  
Michelle Lewis Sirianni, Town Secretary

\_\_\_\_\_  
Date Notice Removed

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

### **NOTICE**

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper Staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

**NOTICE OF ASSISTANCE AT PUBLIC MEETINGS:** The Prosper Town Council meetings are wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1011 at least 48 hours prior to the meeting time.



**MINUTES**  
**Prosper Planning & Zoning Commission**  
**Work Session**  
Prosper Town Hall  
Executive Conference Room  
250 W. First Street, Prosper, Texas  
Tuesday, April 2, 2024, 5:30 p.m.

**Call to Order / Roll Call**

The meeting was called to order at 5:35 p.m.

Commissioners Present: Vice-Chair Damon Jackson, Sekou Harris (arrived at 5:50 p.m.), John Hamilton, Cameron Reeves, and Glen Blanscet.

Staff Present: David Hoover, AICP (Director of Development Services), Suzanne Porter, AICP (Planning Manager), Dakari Hill (Senior Planner), and Jerron Hicks (Planner).

**Items for Individual Consideration:**

- 1. Discuss the Agenda Items on the April 2, 2024, Planning & Zoning Commission agenda.**
- 2. Discuss various types of zoning processes: Straight Zoning, Planned Developments, and Specific Use Permits.**

Ms. Porter presented the agenda items on the April 2, 2024, Planning & Zoning Commission agenda.

The Commission discussed the agenda items on the April 2, 2024, Planning & Zoning Commission agenda.

Ms. Porter discussed the different types of zoning processes (Straight Zoning, Specific Use Permits, and Planned Developments) with the Commission.

**Adjourn.**

The meeting was adjourned at 6:00 p.m.

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Dakari Hill, Senior Planner

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Josh Carson, Secretary



**MINUTES**  
**Prosper Planning & Zoning Commission**  
**Regular Meeting**  
Prosper Town Hall  
Council Chambers  
250 W. First Street, Prosper, Texas  
Tuesday, April 2, 2024, 6:00 p.m.

**1. Call to Order / Roll Call**

The meeting was called to order at 6:00 p.m.

Commissioners Present: Vice-Chair Damon Jackson, Sekou Harris, John Hamilton, Cameron Reeves, and Glen Blanscet.

Staff Present: David Hoover, AICP (Director of Development Services), Suzanne Porter, AICP (Planning Manager), Dakari Hill (Senior Planner), and Jerron Hicks (Planner).

**2. Recitation of the Pledge of Allegiance.**

**3. CONSENT AGENDA**

- 3a. Consider and act upon the minutes from the March 19, 2024, Planning & Zoning Commission Work Session.**
- 3b. Consider and act upon the minutes from the March 19, 2024, Planning & Zoning Commission Regular Meeting.**
- 3c. Consider and act upon a request for a Final Plat of Holley Addition, Block A, Lots 1 and 1X, at 2657 Greenspoint Circle, on 11.1± acres, located at the terminus of Greenspoint Circle. (DEVAPP-23-0152)**
- 3d. Consider and act upon a request for a Site Plan for Restaurant with a Drive-through on Frontier Retail Center Revised, Block A, Lot 5, on 1.5± acres, located on the south side of Frontier Parkway and 600± feet east of Dallas Parkway. (DEVAPP-23-0202)**
- 3e. Consider and act upon a request for a Final Plat of Frontier Retail Center Revised, Block A, Lot 5, on 1.5± acres, located on the south side of Frontier Parkway and 600± feet east of Dallas Parkway. (DEVAPP-24-0001)**

Commissioner Hamilton made a motion to approve Items 3a, 3b, 3c, 3d, and 3e. The motion was seconded by Commissioner Blanscet. The motion was carried unanimously by a vote of 5-0.

**CITIZEN COMMENTS**

No comments were made.

## **REGULAR AGENDA**

There were no items on the regular agenda.

4. **Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.**
5. **Adjourn.**

The meeting was adjourned at 6:08 p.m.

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Dakari Hill, Senior Planner

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Josh Carson, Secretary



## PLANNING

**To:** Planning & Zoning Commission  
**From:** Dakari Hill, Senior Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Planning & Zoning Commission Meeting – April 23, 2024

**Item No. 3c**

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**Agenda Item:**

Consider and act upon a request for a Site Plan for Medical Offices on Prosper Center, Block B, Lot 3, on 5.6± acres, located on the north side of Prairie Drive and 300± feet west of Mahard Parkway. (DEVAPP-23-0093)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as the Retail & Neighborhood Services District.

**Zoning:**

The property is zoned as Office District.

**Conformance:**

The Site Plan conforms to the development standards of the Office District.

**Description of Agenda Item:**

The Site Plan consists of seven medical office buildings totaling 28,172 square feet. It is the second phase of this development. The Site Plan (D21-0131) for the first phase was approved by the Planning & Zoning Commission on February 15, 2022, and Staff approved a revision to this Site Plan on August 16, 2023. Additionally, the Final Plat (D21-0132) was approved by the Planning & Zoning Commission on July 20, 2022, and no additional easement are needed for this second phase of development.

**Access:**

Access is provided from Mahard Parkway and Prairie Drive.

**Landscaping, Open Space, and Screening:**

The proposed development complies with all landscaping, open space, and screening requirements.

**Companion Item:**

There is no companion item for this case.

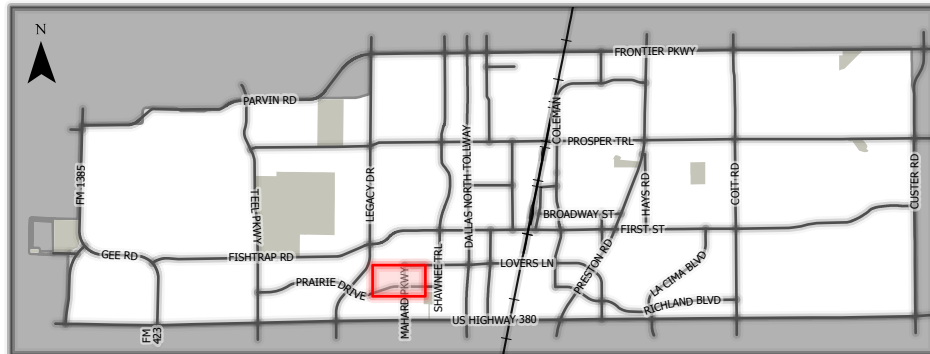
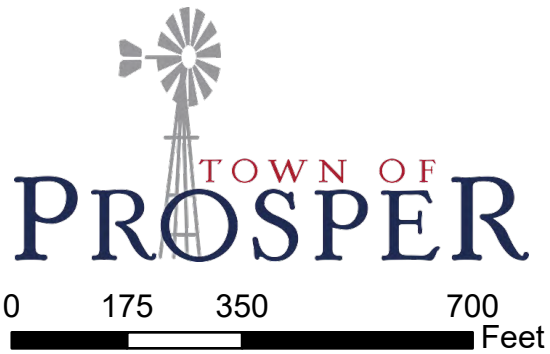
**Attachments:**

1. Location Map
2. Site Plan
3. Revised Site Plan for Phase 1 (D21-0131)
4. Approved Final Plat (D21-0132)

**Town Staff Recommendation:**

Town Staff recommends approval of the Site Plan.





This map for illustration purposes only

DEVAPP-23-0093

Prosper Center Office,  
Phase 2

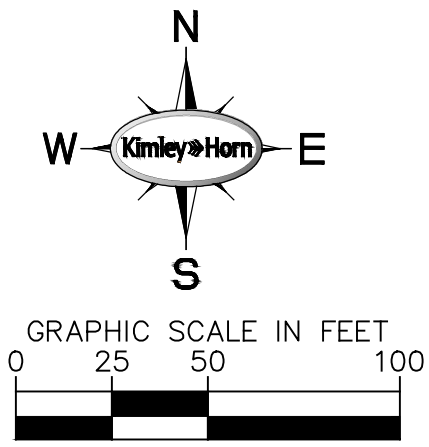
Site Plan







# Revised Site Plan for Phase 1 (D21-0131)

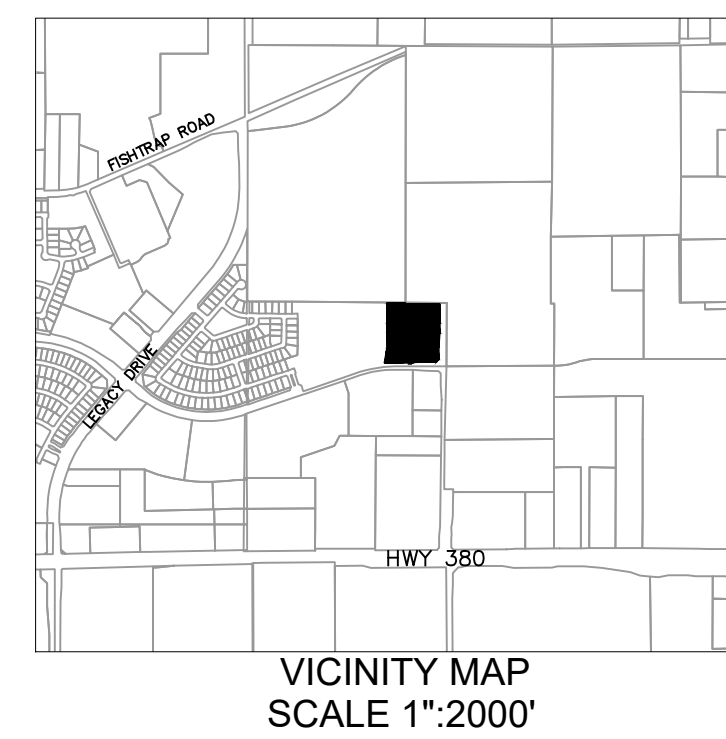


### WATER METER SCHEDULE

ID.	TYPE	SIZE	NO.
1	DOMESTIC	1"	5
2	IRRIGATION	2"	1

### LEGEND

---	PROPERTY LINE	---	PROPOSED RETAINING WALL
FL	PROPOSED FIRE LANE	●	EX. LIGHT POLE
FL	ACCESS, DRAINAGE, AND UTILITY EASEMENT (F.A.D.U.E.)	⊙	EX. WATER METER
---	PROPOSED EASEMENT LINE	⊙	EX. FIRE HYDRANT (FH)
---	SETBACK LINE	⊙	EX. STORM MANHOLE
---	EXISTING CONTOUR	⊙	EX. STORM INLET
⊙	PROPOSED FIRE HYDRANT	⊙	EX. SAN. SWR. MANHOLE
⊙	PROPOSED SEWER MANHOLE	⊙	FACE OF WALL
⊙	PROPOSED FIRE DEPT. CONNECTION	⊙	10' WIDE F.O.C. - F.O.C. LANDSCAPE ISLAND
⊙	PROPOSED WATER METER	⊙	V.M.A. VISIBILITY, ACCESS AND MAINTENANCE EASEMENT
⊙	PROPOSED CURB INLET		



### SITE DATA SUMMARY TABLE

LOT DESIGNATION	BLOCK B, LOT 3
ZONING	O- OFFICE
PROPOSED USE	MEDICAL OFFICE
LOT AREA / SQ. FT. AND AC	243,123 SF 5.58 AC
BUILDING FOOTPRINT	20,124 SF
BUILDING HEIGHT	1-STORY, 23 FT. MAX
MAX. ALLOWABLE LOT COVERAGE	40%
ACTUAL LOT COVERAGE	9%
FLOOR AREA RATIO	0.083:1
TOTAL PARKING REQUIRED	81 SPACES
TOTAL HANDICAP REQUIRED	4 SPACES
TOTAL HANDICAP PROVIDED	5 SPACES
TOTAL PARKING PROVIDED	142 SPACES
INTERIOR LANDSCAPING REQUIRED (15 SF FOR EACH PARKING SPACE)	2,130 SQ. FT.
INTERIOR LANDSCAPING PROVIDED	3,893 SQ. FT.
OPEN SPACE REQUIRED	17,019 SF (7%)
OPEN SPACE PROVIDED	20,905 SQ. FT. (8%) - NOTE 1
SQ. FT. IMPERVIOUS SURFACE	104,971 SQ. FT.

- ### TOWN OF PROSPER SITE PLAN NOTES
- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
  - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
  - ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
  - BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
  - OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE. FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
  - FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
  - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
  - SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
  - FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS. AMENDMENT 503.1.1
  - THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1
  - BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIREFIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET. APPENDIX D105
  - THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
  - THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
  - DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
  - FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1
  - AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (300') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R3. R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500'). DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLIES." AMENDMENT 507.5.1
  - FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 5 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
  - FIRE HYDRANTS SHALL BE LOCATED 2 FOOT (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1
  - THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1
  - A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1
  - THE MAXIMUM DEAD- END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
  - ONE-AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS, AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE-AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,000 SQUARE FEET (511 M2) OR GREATER. DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R313.2
  - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  - ALL SIGNS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE PRELIMINARY SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
  - SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
  - APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING SERVICES DEPARTMENT.
  - SITE PLAN APPROVAL IS REQUIRED BEFORE THE GRADING RELEASE.
  - ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
  - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
  - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  - THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR EIGHTEEN (18) MONTHS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY, IS NULL AND VOID.

### TREE SURVEY NOTE

NO TREES ARE LOCATED ON-SITE AT THE TIME OF THIS SITE PLAN SUBMITTAL.



# Kimley»Horn

**SITE PLAN - PHASE 1**  
**PROSPER CENTER**  
**LOT 3, BLOCK B**  
**CASE # D21-0131**  
 5.58 ACRES  
 COLLIN COUNTY SCHOOL LAND SURVEY ABSTRACT NO. 147  
 TOWN OF PROSPER, COLLIN COUNTY, TEXAS  
 PREPARATION DATE: 08/09/2023

**ENGINEER / SURVEYOR / APPLICANT**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 8162 WARREN PARKWAY, SUITE 210  
 FRISCO, TX 75034  
 PHONE: (972) 335-3580  
 FAX: (972) 335-3779  
 CONTACT: CAROLYN KOCH, P.E.

**OWNER**  
 CLC PROSPER 380 1, LLC  
 8072 PRESTON ROAD, SUITE 205  
 FRISCO, TX 75034  
 PHONE: (214) 497-7725  
 ALESTOCK@CLOUDLOFT.COM  
 CONTACT: ALEX LESTOCK

# Kimley»Horn

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 WWW.KIMLEY-HORN.COM  
 TEXAS REGISTERED ENGINEERING FIRM F-928

**PROSPER CONDO OFFICE - PHASE 2**  
 LOT 3, BLOCK B  
 TOWN OF PROSPER, COLLIN COUNTY, TX

**SITE PLAN PHASE 1**

**1 OF 1**

NO. \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS \_\_\_\_\_

BY \_\_\_\_\_

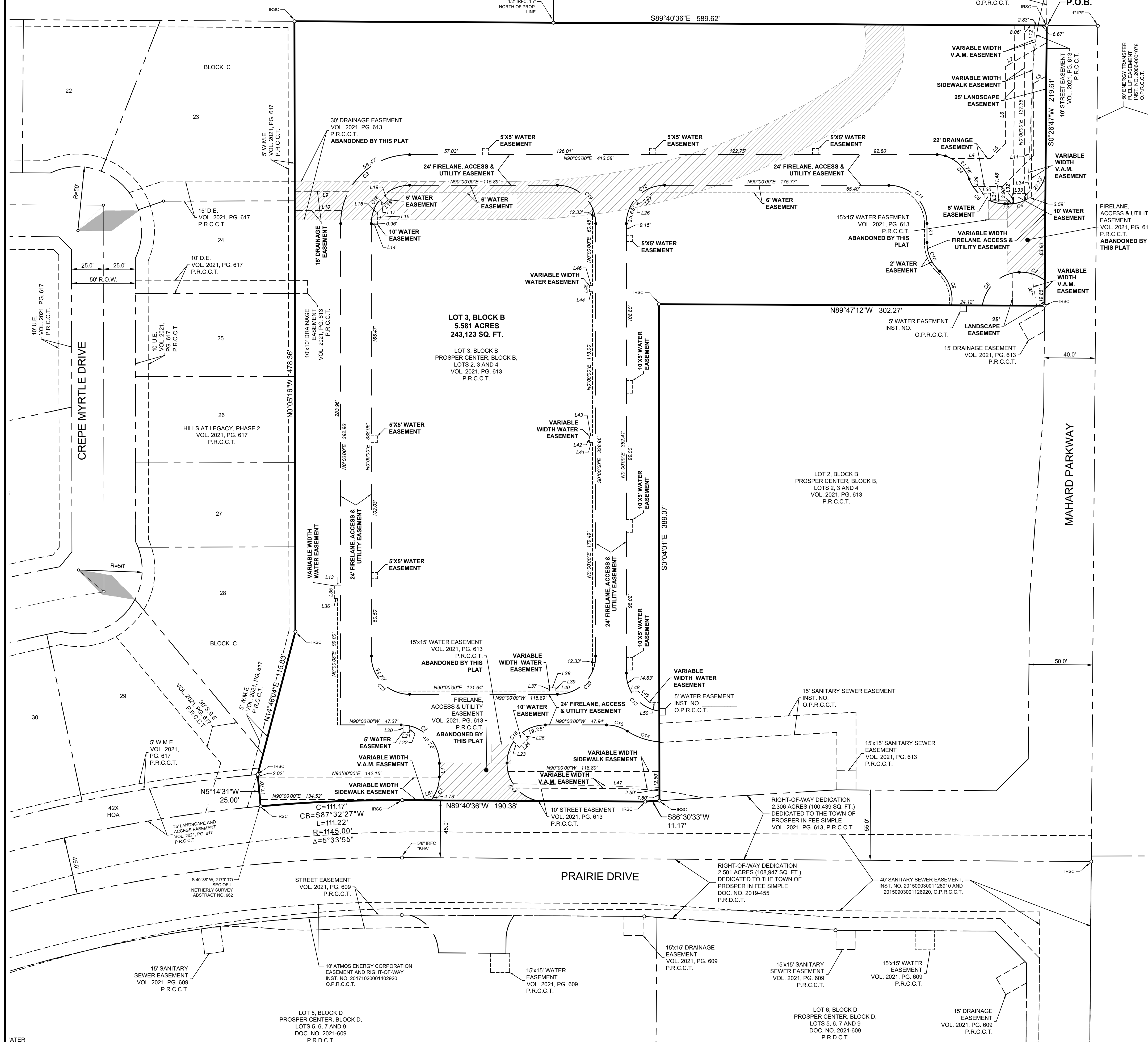
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 LAST SAVED: 8/9/2023 10:57 AM  
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and consent by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



# Approved Final Plat (D21-0132)

COLLIN COUNTY SCHOOL LAND SURVEY  
ABSTRACT NO. 147  
COLLIN CO.

CALLED 78.483 ACRES  
LEGACY AND FIRST LP  
INSTR. NO. 20200618000919920  
O.P.R.C.C.T.



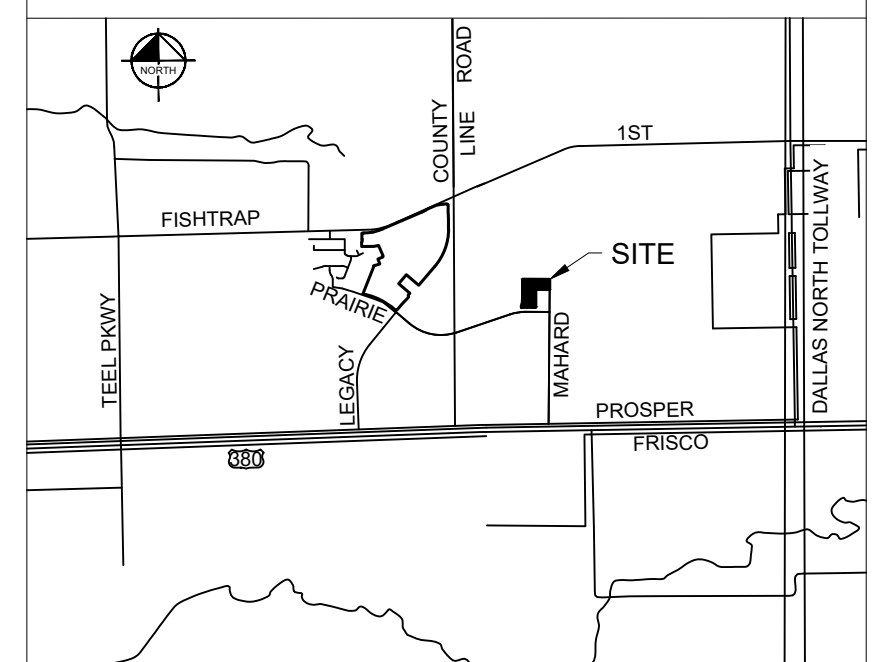
**NOTES:**

- According to Community Panel No. 48085C0230J, dated June 2, 2009, Collin County, Texas, of the National Flood Insurance Program Map, Flood Insurance Rate Map, Federal Emergency Management Agency, Federal Insurance Administration, this property is within non-shaded Zone X, defined as areas determined to be outside the 0.2% annual chance floodplain and NO 100-YEAR FLOODPLAIN EXISTS ON THIS SITE. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
- Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.
- Notice: Selling a portion of this addition by metes and bounds is a violation of town ordinance and state law, and is subject to fines and withholding of utilities and building permits.
- All landscape easements must be exclusive of any other type of easement.
- This plat is subject to additional zoning standards outlined in Ordinance 15-55.

**LEGEND**

IRSC	36" IRON ROD WITH 3/4" CAP SET
IRF	IRON ROD WITH CAP FOUND
XS	3/4" CUT IN CONCRETE SET
XC	3/4" CUT IN CONCRETE FOUND
P.O.B.	POINT OF BEGINNING
SW	SIDEWALK EASEMENT
SSE	SANITARY SEWER EASEMENT
UE	UTILITY EASEMENT
VAM	VISIBILITY AND MAINTENANCE EASEMENT
WME	WALL MAINTENANCE EASEMENT
STN	STREET NAME CHANGE
INST.	INSTRUMENT
DOC.	DOCUMENT
NO.	NUMBER
BEAR.	BEARING
LEN.	LENGTH
AREA	AREA
VOL.	VOLUME
P.R.C.C.T.	PLAT RECORD, DENTON COUNTY, TEXAS
O.R.C.C.T.	OFFICIAL RECORDS, DENTON COUNTY, TEXAS
P.R.C.C.T.	PLAT RECORD, COLLIN COUNTY, TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS

**VICINITY MAP**



LINE NO.	BEARING	LENGTH	LINE NO.	BEARING	LENGTH
L1	N00°19'24"E	10.48'	L31	S00°00'00"E	6.13'
L2	N89°33'13"W	2.34'	L32	N00°00'00"E	7.90'
L3	S00°00'00"E	14.87'	L33	N90°00'00"W	10.00'
L4	N90°00'00"E	30.90'	L34	N00°00'00"E	5.06'
L5	N45°00'00"E	16.62'	L35	S00°00'00"E	10.00'
L6	N00°00'00"E	60.38'	L36	N90°00'00"E	2.50'
L7	N60°00'00"E	37.06'	L37	N00°00'00"E	2.50'
L8	N60°00'00"E	11.07'	L38	S90°00'00"E	5.00'
L9	N90°00'00"W	42.33'	L39	S00°00'00"W	2.50'
L10	N90°00'00"W	37.00'	L40	N90°00'00"E	13.23'
L11	N02°20'05"E	92.81'	L41	N90°00'00"W	2.50'
L12	N02°20'05"E	37.54'	L42	N00°00'00"E	5.00'
L13	S90°00'00"W	5.01'	L43	N90°00'00"E	2.50'
L14	N90°00'00"E	5.00'	L44	N90°00'00"W	2.50'
L15	N00°00'00"E	10.00'	L45	N00°00'00"E	5.00'
L16	S90°00'00"W	3.61'	L46	N90°00'00"E	2.50'
L17	N42°57'21"W	4.69'	L47	S88°28'45"E	114.92'
L18	S47°02'39"W	5.00'	L48	N90°00'00"E	5.73'
L19	S42°57'21"E	5.03'	L49	S45°00'00"E	12.39'
L20	S00°00'00"E	5.73'	L50	N90°00'00"E	7.88'
L21	N90°00'00"E	5.00'	L51	N71°41'05"E	12.46'
L22	N00°00'00"E	5.06'			
L23	N45°07'20"W	6.25'			
L24	N44°49'49"E	10.00'			
L25	N45°07'20"W	6.46'			
L26	N40°52'51"W	5.00'			
L27	N40°07'09"E	13.29'			
L28	N09°03'11"W	25.39'			
L29	N00°00'00"E	3.49'			
L30	N90°00'00"E	5.00'			

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	38°04'08"	30.00'	19.93'	N19°21'28"E	19.57'
C2	90°19'24"	30.00'	47.29'	N44°50'18"W	42.55'
C3	90°00'00"	54.00'	84.82'	S45°00'00"W	76.37'
C4	51°21'00"	30.00'	26.89'	N46°07'49"W	26.00'
C5	69°05'54"	30.00'	36.18'	S55°00'16"E	34.03'
C6	82°10'28"	28.96'	41.53'	N51°15'19"E	38.06'
C7	39°48'46"	30.77'	21.38'	N72°11'46"W	20.95'
C8	79°10'51"	30.55'	42.22'	S47°56'00"W	38.94'
C9	56°35'01"	30.00'	29.63'	N19°27'06"W	28.44'
C10	48°11'23"	30.00'	25.23'	S23°38'55"E	24.49'
C11	89°46'46"	30.00'	47.01'	N44°53'24"W	42.35'
C12	90°00'00"	30.00'	47.12'	S45°00'00"W	42.43'
C13	82°06'13"	30.00'	42.99'	S41°03'07"E	39.40'
C14	28°31'14"	54.00'	26.88'	S71°23'33"E	26.60'
C15	32°52'04"	30.00'	17.21'	N73°33'58"W	16.97'
C16	89°40'36"	30.00'	46.95'	S45°09'42"W	42.31'
C17	80°48'52"	30.00'	42.31'	S40°05'02"E	38.89'
C18	90°00'00"	30.00'	47.12'	S45°00'00"W	42.43'
C19	90°00'00"	30.00'	47.12'	N45°00'00"W	42.43'
C20	90°00'00"	30.00'	47.12'	N45°00'00"E	42.43'
C21	90°00'00"	30.00'	47.12'	S45°00'00"E	42.43'

CALLLED 60.914 ACRES  
SC 174-380, LLC  
INSTR. NO. 20190724000876240  
O.P.R.C.C.T.



**FINAL PLAT  
PROSPER CENTER  
BLOCK B, LOT 3**

5.581 ACRES

COLLIN COUNTY SCHOOL LAND SURVEY, ABSTRACT NO. 147  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS  
TOWN OF PROSPER CASE # D21-0132



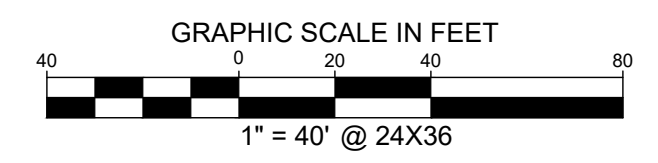
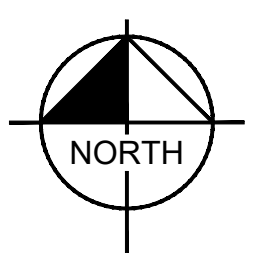
6160 Warren Parkway, Suite 210  
Frisco, Texas 75034  
Tel. No. (972) 335-3580  
FIRM # 10193822

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	SG	KHA	JULY 2022	067252018	1 OF 2

**OWNER:**  
CLC-Prosper 380 1, LLC  
1901 N. Akard Street  
Dallas, Texas 75201  
Ph: 214-533-2800  
Contact: Tom Martin

**ENGINEER:**  
Kimley-Horn and Associates, Inc.  
6160 Warren Parkway, Suite 210  
Frisco, Texas 75034  
Ph: 972.335.3580  
Contact: Carolyn Koch, P.E.

CALLLED 20.000 ACRES  
MSW PROSPER 380, LP  
INSTR. NO. 20131226001678930  
O.P.R.C.C.T.





**OWNER'S DEDICATION**

**STATE OF TEXAS §**

**COUNTY OF COLLIN §**

**WHEREAS, CLC-PROSPER 380 1, LLC**, is the owner of a tract of land situated in the Collin County School Land Survey, Abstract No. 147, Town of Prosper, Collin County, Texas and being all of Lot 3, Block B of Prosper Center, Block B, Lots 2, 3 and 4, according to the Revised Conveyance Plat thereof recorded in Volume 2021, Page 613 of the Plat Records of Collin County, Texas, and being more particularly described as follows:

**BEGINNING** at 5/8 inch iron rod with plastic cap stamped "KHA" set for the northeast corner of said Lot 3, common to the west end of the northerly terminus of Mahard Parkway, a variable width right-of-way, same being on a southerly line of a called 60.914 acre tract of land described in a deed to SC TW-380, LLC, as recorded in Instrument No. 20190724000876240 of the Official Public Records of Collin County, Texas;

**THENCE** South 00°26'47" West, departing said southerly line of said 60.914 acre tract, along an easterly line of said Lot 3 and the westerly right-of-way line of said Mahard Parkway, a distance of 219.61 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for the northerly southeast corner of said Lot 3, common to the northeast corner of Lot 2, Block B of said Prosper Center, Block B, Lots 2, 3 and 4;

**THENCE** North 89°47'12" West, departing the westerly right-of-way line of said Mahard Parkway and along a southerly line of said Lot 3 and the northerly line of said Lot 2, a distance of 302.27 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for an ell corner of said Lot 3, common to the northwest corner of said Lot 2;

**THENCE** South 00°04'01" East, along an easterly line of said Lot 3 and the westerly line of said Lot 2, a distance of 389.07 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for the southerly southeast corner of said Lot 3, common to the southwest corner of said Lot 2, same being on the northerly right-of-way line of Prairie Drive, a variable width right-of-way;

**THENCE** South 86°30'33" West, along the southerly line of said Lot 3 and the northerly right-of-way line of said Prairie Drive, a distance of 11.17 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

**THENCE** North 89°40'36" West, continuing along the southerly line of said Lot 3 and the northerly right-of-way line of said Prairie Drive, a distance of 190.38 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set at the beginning of a tangent curve to the left having a central angle of 5°33'55", a radius of 1145.00 feet, a chord bearing and distance of South 87°32'27" West, 111.17 feet;

**THENCE** in a southwesterly direction continuing along the southerly line of said Lot 3 and the northerly right-of-way line of said Prairie Drive, and with said curve to the left, an arc distance of 111.22 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set the southwest corner of said Lot 3, common to the southeast corner of Hills at Legacy, Phase 2, according to the Final Plat thereof recorded in Volume 2021, Page 617 of the Plat Records of Collin County, Texas;

**THENCE** North 05°14'31" West, departing the northerly right-of-way line of said Prairie Drive, along the westerly line of said Lot 3 and the easterly line of said Hills at Legacy, Phase 2, a distance of 25.00 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

**THENCE** North 14°46'04" East, continuing along the westerly line of said Lot 3 and the easterly line of said Hills at Legacy, Phase 2, a distance of 115.83 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

**THENCE** North 00°05'16" West, continuing along the westerly line of said Lot 3 and the easterly line of said Hills at Legacy, Phase 2, a distance of 478.36 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for the northwest corner of said Lot 3, common to the northeast corner of said Hills at Legacy, Phase 2, same being on the southerly line of a called 78.483 acre tract of land described in a deed to Legacy and First LP, as recorded in Instrument No. 20200618000919920 of the Official Public Records of Collin County, Texas;

**THENCE** South 89°40'36" East, along the northerly line of said Lot 3, the southerly line of said 78.48 acre tract and aforesaid southerly line of said 60.914 acre tract, a distance of 589.62 feet to the **POINT OF BEGINNING** and containing 5.581 acres (243,123 square feet) of land, more or less.

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

**THAT CLC-PROSPER 380 1, LLC**, acting herein by and through its duly authorized officer, does hereby certify and adopt this plat designating the herein above described property as **PROSPER CENTER, BLOCK B, LOT 3**, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. **CLC-PROSPER 380 1, LLC**, does herein certify the following:

- The streets and alleys are dedicated for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
- The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
- The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the Town of Prosper.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

WITNESS, my hand, this the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

BY: **CLC-PROSPER 380 1, LLC**, a Texas limited liability company

By: Cloudloft Management, LLC  
its Manager

By: \_\_\_\_\_  
Alex Leestock, President

**STATE OF TEXAS §**

**COUNTY OF COLLIN §**

Before me, the undersigned authority, on this day personally appeared Alex Leestock, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public In And For The State Of Texas

Printed Name

**DRAINAGE AND DETENTION EASEMENT**

This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called "Town") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: The Portion of Lot 23, Block C, and Lot 24, Block C as shown on the plat are called "Drainage and Detention Easement". The Drainage and Detention Easement within the limits of this addition, will remain open at all times and will be maintained in a safe and sanitary condition by the owners of the lot or lots that are traversed by or adjacent to the Drainage and Detention Easement. The Town will not be responsible for the maintenance and operation of said Easement or for any damage to private property or person that results from conditions in the Easement, or for the control of erosion. No obstruction to the natural flow of storm water run-off shall be permitted by construction of any type of building, fence or any other structure within the Drainage and Detention Easement, as herein above defined, unless approved by the Town Engineer. Provided, however, it is understood that in the event it becomes necessary for the Town to erect or consider erecting any type of drainage structure in order to improve the storm drainage that may be occasioned by drainage in or adjacent to the subdivision, then in such event, the Town shall have the right to enter upon the Drainage and Detention Easement at any point, or points, to investigate, survey or to erect, construct and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the Drainage and Detention Easement clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage through the Drainage and Detention Easement is subject to storm water overflow and natural bank erosion to an extent which cannot be definitely defined. The Town shall not be held liable for any damages of any nature resulting from the occurrence of these natural phenomena, or resulting from the failure of any structure or structures, within the Easement.

**ACCESS EASEMENT**

The undersigned covenants and agrees that the access easement(s) may be utilized by any person of the general public for ingress and egress to other real property, and for the purpose of general public vehicular use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all time of the Town of Prosper, its agents, employees, workmen and representatives having ingress, egress, and regress in, along, upon, and across said premises.

**FIRE LANE EASEMENT**

The undersigned covenants and agrees that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface paved in accordance with Town standards and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fenced trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to Town standards of the fire lane easements is the responsibility of the owner, and the owner shall post and maintain signage in accordance to Town standards in conspicuous places along the fire lanes, stating "Fire Lane, No Parking". The police or their duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

**STREET EASEMENT**

The area or areas shown on the plat as "Street Easement" are hereby given and granted to the Town of Prosper (Called "Town") its successors and assigns, as an easement to construct, reconstruct, operate, repair, re-build, replace, relocate, alter, remove and perpetually maintain street and highway facilities, together with all appurtenances and incidental improvements, in, upon and across certain real property owned by Grantor. Appurtenances and incidental improvements include, but are not limited to, curbs, gutters, inlets, aprons, traffic signs with or without attached flashing lights, guard rails, sidewalks, buried conduits, buried Town utilities, and underground franchise utilities. Street Easements shall remain accessible at all times and shall be maintained by the Owners of the lot or lots that are traversed by, or adjacent to the Street Easement. After doing any work in connection with the construction, operation or repair of the street and highway facilities, the Town shall restore the surface of the Street Easements as close to the condition in which it was found before such work was undertaken as is reasonably practicable, except for trees, shrubs and structures within the Street Easement that were removed as a result of such work.

**VISIBILITY AND MAINTENANCE EASEMENT**

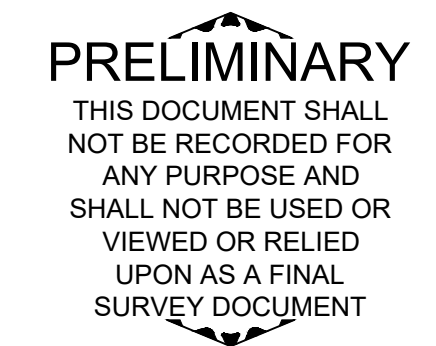
The area or areas shown on the plat as "VAM" (Visibility and Maintenance) Easement(s) are hereby given and granted to the Town of Prosper (Called "Town"), its successors and assigns, as an easement to provide visibility, right of access, and maintenance upon and across said VAM Easement. The Town shall have the right, but not the obligation, to maintain all landscaping within the VAM Easement. Should the Town exercise this maintenance right it shall be permitted to remove and dispose of any and all landscaping improve elements, including without limitation, any trees, shrubs, flowers, ground cover, structure, and/or fixtures. The Town in its sole discretion may withdraw maintenance of the VAM at any time. The ultimate maintenance responsibility for the VAM Easement shall rest with the property owner(s). No building, fence, shrub, tree, or other improvements or growths, which in any way endanger or interfere with the visibility, shall be constructed in, on, over, or across the VAM Easement. The Town shall also have the right, but not the obligation, to add any landscape improvements to the VAM Easement, to erect any traffic control devices or signs on the VAM Easement and to remove any obstruction thereon. The Town, its successor, assigns, or agents shall have the right and privilege at all times to enter upon the VAM Easement or any part thereof for the purposes and with all rights and privileges set forth herein.

**LANDSCAPE EASEMENT**

The undersigned covenants and agrees that the landscape easement and restrictions herein set forth shall run with the land and be binding on the owner(s) of the property in this subdivision, their successors and assigns, and all parties claiming by, through and under them. In the event a Replat is requested on all or part of this property, the Town may require any similar or additional restrictions at its sole discretion. The sole responsibility for maintenance and replacement of landscape materials thereof shall be borne by any homeowners' association hereafter established for the owners of lots in this subdivision and/or the owner of the individual lots within this subdivision. Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law. This Landscape Easement shall be void of utilities and other elements unless otherwise approved on the plat.

**KNOW ALL MEN BY THESE PRESENTS:**

That I, Sylviana Gunawan, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.



SYLVIANA GUNAWAN  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 6461  
6160 WARREN PARKWAY, SUITE 210  
FRISCO, TEXAS 75034  
PH. 972-335-3580  
sylviana.gunawan@kimley-horn.com

**STATE OF TEXAS §**

**COUNTY OF COLLIN §**

Before me, the undersigned authority, on this day personally appeared Sylviana Gunawan, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

GIVEN under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public in and for The State of Texas

Printed Name

**CERTIFICATE OF APPROVAL**

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2022 by the Planning & Zoning Commission of the Town of Prosper, Texas.

\_\_\_\_\_  
Engineering Department

\_\_\_\_\_  
Town Secretary

\_\_\_\_\_  
Development Services Department

**FINAL PLAT  
PROSPER CENTER  
BLOCK B, LOT 3**

5.581 ACRES

COLLIN COUNTY SCHOOL LAND SURVEY, ABSTRACT NO. 147  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS  
TOWN OF PROSPER CASE # D21-0132

**Kimley»Horn**

6160 Warren Parkway, Suite 210  
Frisco, Texas 75034  
Tel. No. (972) 335-3580  
FIRM # 10193822

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	SG	KHA	JULY 2022	067252018	2 OF 2

OWNER:  
CLC-Prosper 380 1, LLC  
1901 N. Akard Street  
Dallas, Texas 75201  
Ph: 214-533-2800  
Contact: Tom Martin

ENGINEER:  
Kimley-Horn and Associates, Inc.  
6160 Warren Parkway, Suite 210  
Frisco, Texas 75034  
Ph: 972.335.3580  
Contact: Carolyn Koch, P.E.

D:\NAME:KCPM\_SURVEY\30351003-PROSPER CONDOP OFFICE\DWG\625201803 FINAL.PLT.DWG PLOTTED BY: GUNAWAN, SYLVIANA 7/19/2022 2:57 PM LAST SAVED: 7/19/2022 3:38 PM



## PLANNING

**To:** Planning & Zoning Commission **Item No. 3d**  
**From:** Dakari Hill, Senior Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Planning & Zoning Commission Meeting – April 23, 2024

---

**Agenda Item:**

Consider and act upon a request for a Revised Conveyance Plat of Gates of Prosper, Phase 2, Block B, Lot 2R, and Block D, Lots 2-3, on 114.2± acres, located on the southwest corner of Gateway Drive and Lovers Lane. (DEVAPP-23-0168)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as the Town Center District.

**Zoning:**

The property is zoned Planned Development-67 (Mixed-Use).

**Conformance:**

The Revised Conveyance Plat conforms to the development standards of Planned Development-67.

**Description of Agenda Item:**

The purpose of this Revised Conveyance Plat is to create three lots and dedicate right-of-way and easements.

- Block B, Lot 2R will develop as office and retail.
- Block D, Lot 2 will be dedicated to the Town. A Site Plan (DEVAPP-23-0123) for this property was approved by the Planning & Zoning Commission on November 7, 2023.
- Block D, Lot 3 will develop as multifamily. A Preliminary Site Plan (DEVAPP-23-0162) for this property was approved by the Planning & Zoning Commission on December 19, 2023.

**Companion Item:**

There is no companion item for this case.

**Attached Documents:**

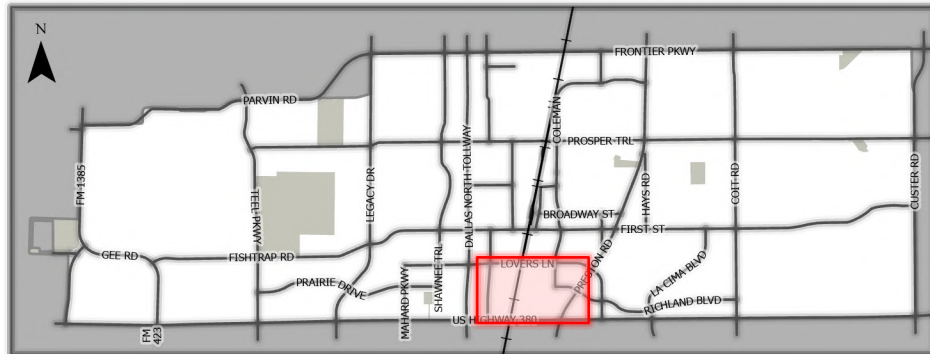
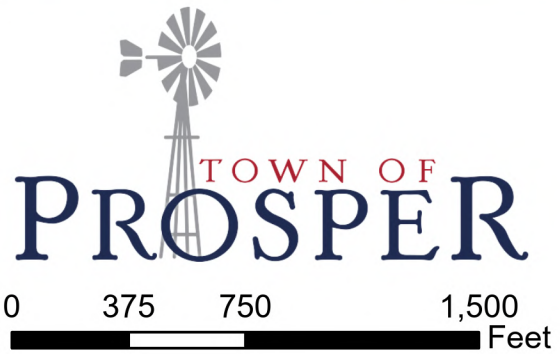
1. Location Map
2. Revised Conveyance Plat



**Town Staff Recommendation:**

Town Staff recommends approval of the Revised Conveyance Plat.

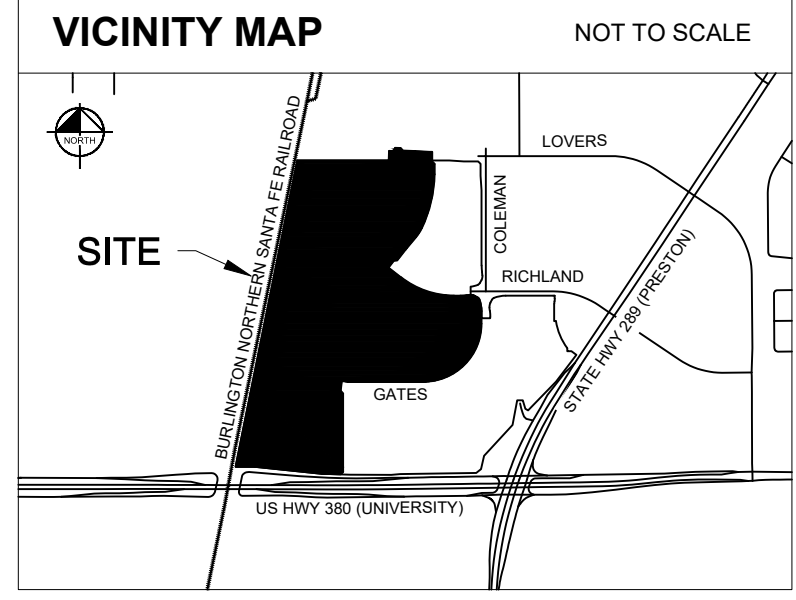
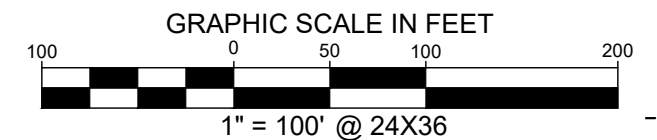
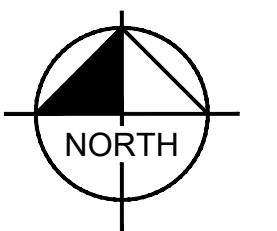




**DEVAPP-23-0168**  
 Gates of Prosper Phase 2

This map for illustration purposes only





NO.	BEARING	LENGTH
L1	S87°42'10"E	34.68'
L2	N47°17'50"E	35.36'
L3	N02°17'50"E	10.00'
L4	S87°42'10"E	60.00'
L5	S42°42'10"E	35.36'
L6	N90°00'00"E	29.06'
L7	S45°00'04"E	35.36'
L8	S83°12'34"W	35.36'
L9	N90°00'00"E	65.58'
L10	N83°01'03"E	37.72'
L11	S61°17'36"E	36.82'
L12	N00°00'00"E	49.82'
L13	S88°50'14"E	15.00'
L14	N00°00'00"E	49.86'
L15	N90°00'00"W	149.76'
L16	N00°02'29"E	5.42'
L17	N90°00'00"W	10.00'
L18	S00°02'29"W	5.42'
L19	N90°00'00"W	39.71'
L20	N90°00'00"E	34.13'
L21	S00°00'00"E	15.00'
L22	N90°00'00"W	34.13'
L23	S47°17'50"W	35.36'
L24	N87°42'10"W	32.78'
L25	N22°09'04"W	36.10'
L26	N02°17'50"E	71.48'
L27	S87°42'10"E	90.32'
L28	N87°42'10"W	34.68'
L29	N42°42'10"W	35.36'
L30	N02°17'50"E	61.48'
L31	N65°07'59"E	36.26'
L32	S11°23'31"W	60.00'
L33	S51°47'26"E	142.24'
L34	N75°17'28"E	25.70'
L35	S14°42'32"E	15.00'
L36	S75°17'28"E	39.94'
L37	S21°37'21"W	34.56'
L38	N88°22'39"W	15.10'
L39	N21°37'21"E	34.20'
L40	N78°36'29"W	128.35'
L41	N78°36'29"E	112.75'
L42	N78°36'47"W	112.37'
L43	N78°36'43"W	77.37'
L44	S33°36'29"E	52.96'
L45	S33°36'29"E	37.97'
L46	N56°23'31"E	34.50'
L47	N56°23'31"E	6.21'
L48	S78°36'29"E	58.38'
L49	S74°49'42"E	30.34'
L50	S78°36'29"E	14.65'
L51	N11°23'31"E	15.00'
L52	S78°36'29"E	15.15'
L53	S74°49'42"E	29.84'
L54	S39°58'58"E	6.94'

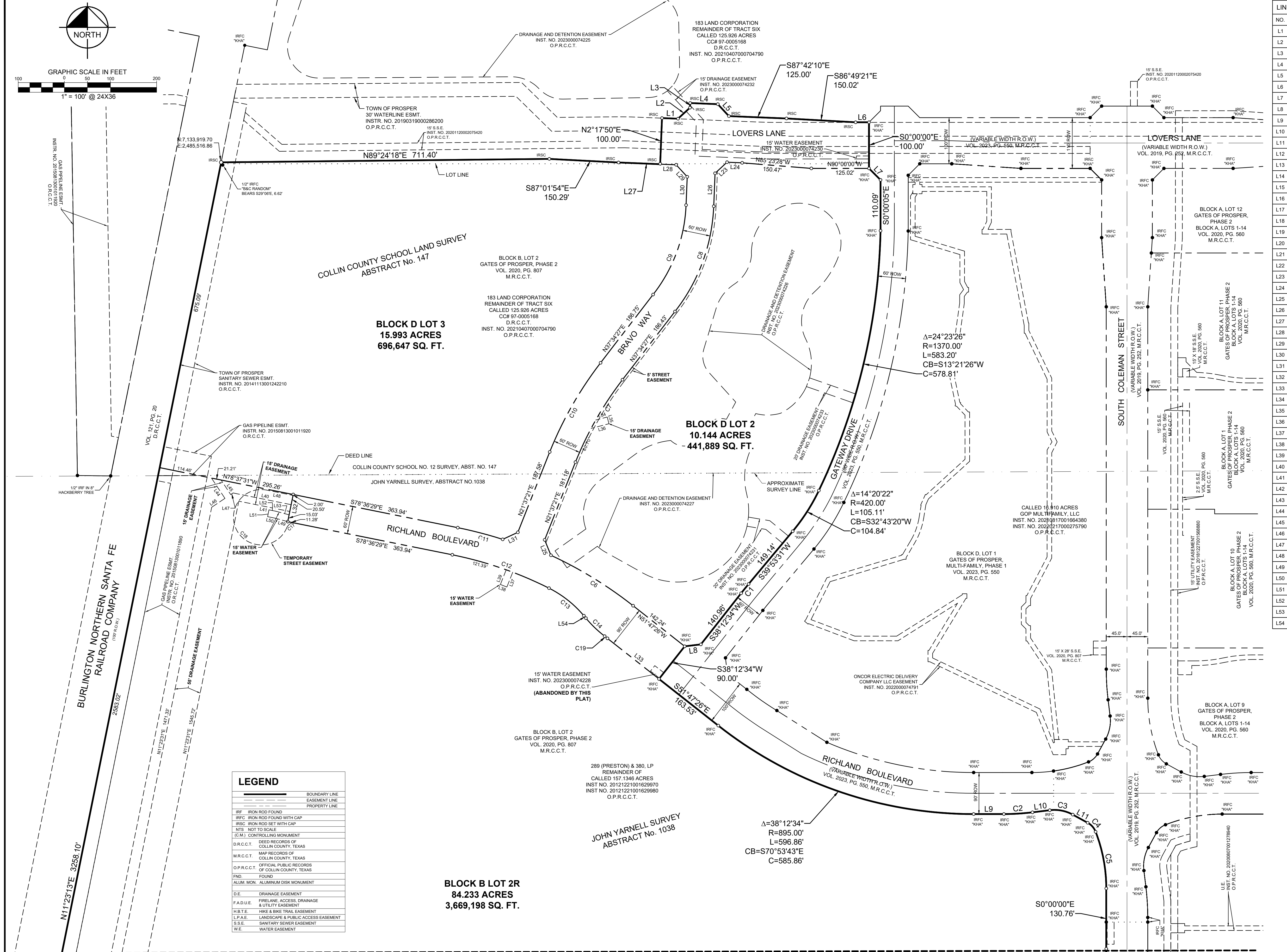
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	1°40'57"	880.00'	25.84'	S39°03'03"W	25.84'
C2	6°58'57"	509.91'	62.14'	N86°30'31"E	62.10'
C3	35°40'46"	83.00'	51.69'	S79°07'59"E	50.85'
C4	39°59'13"	38.00'	26.52'	S41°18'00"E	25.99'
C5	21°18'24"	338.00'	125.69'	S10°39'12"E	124.97'
C6	13°20'18"	900.00'	209.62'	N58°27'35"W	209.05'
C7	15°42'26"	753.00'	206.43'	S29°43'14"W	205.78'
C8	35°51'33"	395.00'	247.21'	N20°13'36"E	243.20'
C9	35°54'33"	335.00'	209.95'	N20°15'06"E	206.54'
C10	15°42'59"	813.00'	223.01'	S29°42'57"W	222.31'
C11	6°27'01"	894.00'	100.65'	N75°22'58"W	100.59'
C12	15°16'41"	834.00'	222.39'	N70°58'09"W	221.73'
C13	23°20'50"	238.00'	96.98'	N51°39'23"W	96.31'
C14	12°20'54"	262.00'	66.47'	S46°09'25"E	56.36'
C15	89°59'42"	70.00'	109.95'	N56°23'22"E	98.99'
C16	89°59'46"	50.00'	78.54'	N56°23'24"E	70.71'
C17	52°37'16"	20.00'	18.37'	S49°14'22"W	17.73'
C18	258°27'47"	60.00'	270.86'	S27°50'22"E	92.95'
C19	0°32'27"	810.00'	7.65'	N52°03'39"W	7.64'

- NOTES:**
- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
  - Bearing system based on the southerly right of way line of Lovers Lane as created in the Conveyance Plat of Gates of Prosper, Phase 2, an addition to the Town of Prosper, according to the plat, recorded in Volume 2019, Page 252 of the Map Records of Collin County, Texas, said bearing being North 90°00'00" East.
  - According to Map No. 48095C0235 J dated June 2, 2009, of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is located in Zone X (unshaded) and is not within a special flood hazard area. If this site is within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
  - Notice: A conveyance plat is a record of property approved by the Town of Prosper, Texas, for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record and public improvements accepted in accordance with the Subdivision Ordinance of the Town of Prosper. Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
  - Landscape easements shall be required when a final platting of the lots within this conveyance plat is prepared.
  - The purpose of this plat is to create new lots, dedicate new street rights of way and easements.
  - Block D, Lot 2 is to be dedicated to the Town of Prosper.

**REVISED CONVEYANCE PLAT**  
**GATES OF PROSPER, PHASE 2**  
**BLOCK B, LOT 2R AND**  
**BLOCK D LOTS 2 AND 3**  
 AN ADDITION TO THE TOWN OF PROSPER  
 PD-67  
 114.219 ACRES  
 SITUATED IN THE  
 COLLIN COUNTY SCHOOL LAND NO. 12 SURVEY, ABSTRACT  
 NO. 147, & THE JOHN YARNELL SURVEY, ABSTRACT NO. 1038  
 TOWN OF PROSPER, COLLIN COUNTY, TEXAS

APRIL - 2024  
 DEVAPP-23-0168

<b>Kimley»Horn</b>		6160 Warren Parkway, Suite 210 Frisco, Texas 75034	Tel. No. (972) 335-3580 Fax No. (972) 335-3779
Scale	Drawn by	Checked by	Date
1" = 100'	MBM	KHA	04/01/2024
Project No.	Sheet No.	FIRM # 10193822	1 OF 3
OWNER:	OWNER:	OWNER:	OWNER:
289 (Preston) & 380, L.P. 1 Cowboys Way Frisco, TX 75063 Contact: Tom Walker, Assistant Treasurer	GOP #3, LLC 1 Cowboys Way Frisco, TX 75063 Contact: Tom Walker, Assistant Treasurer	183 Land Corporation 183 Land Corporation Frisco, TX 75063 Contact: Tom Walker, Assistant Treasurer	

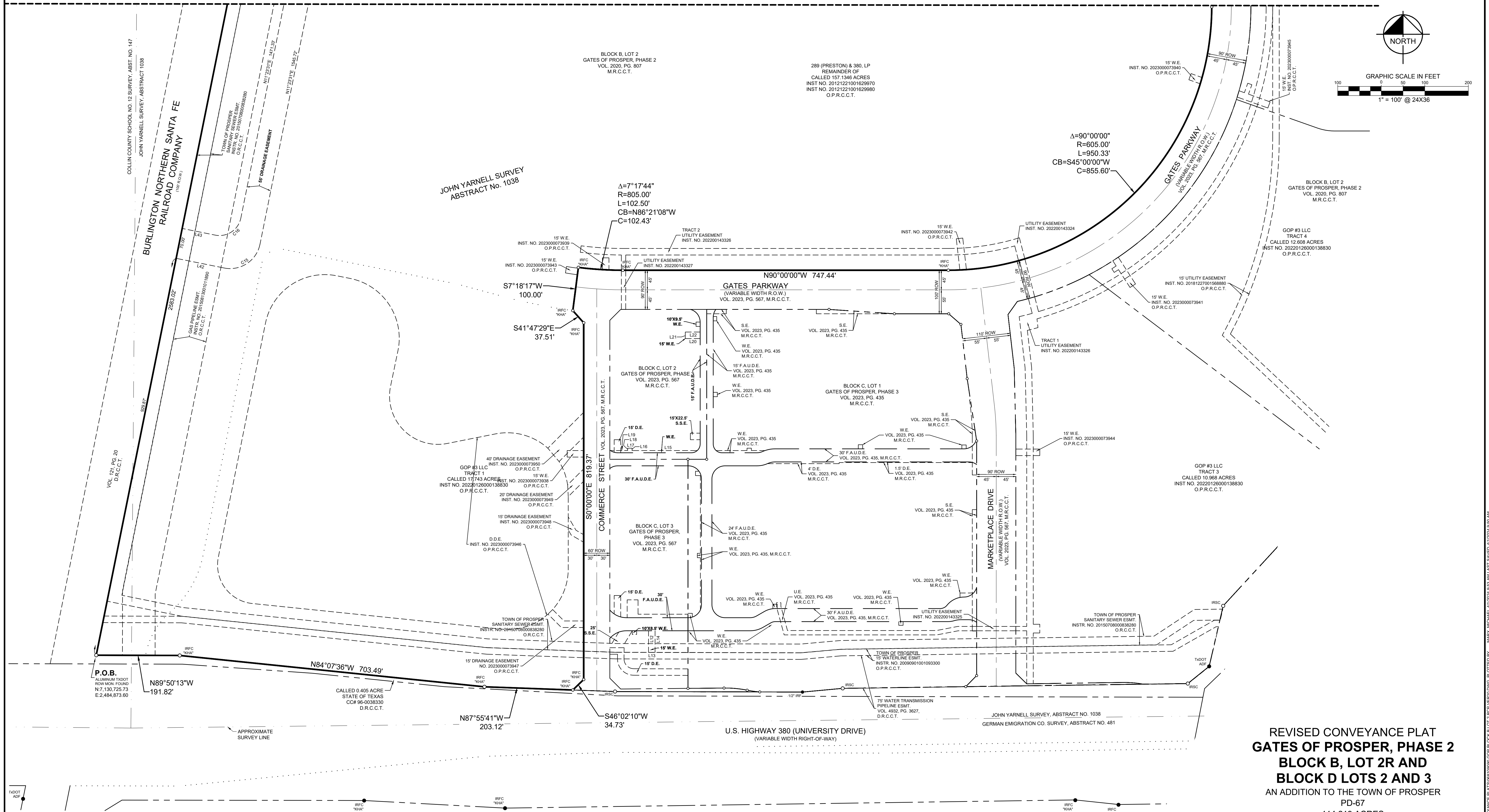
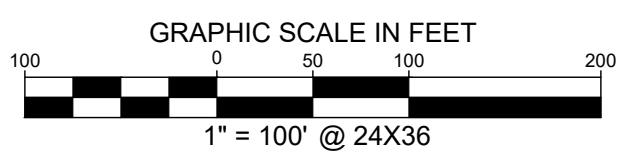
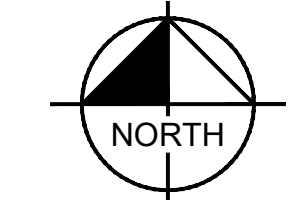


---	BOUNDARY LINE
- - - -	EASEMENT LINE
---	PROPERTY LINE
IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND WITH CAP
IRSC	IRON ROD SET WITH CAP
NIS	NOT TO SCALE
(C.M.)	CONTROLLING MONUMENT
D.R.C.C.T.	DEED RECORDS OF COLLIN COUNTY, TEXAS
M.R.C.C.T.	MAP RECORDS OF COLLIN COUNTY, TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
FND.	FOUND
ALUM. MON.	ALUMINUM DISK MONUMENT
D.E.	DRAINAGE EASEMENT
F.A.D.U.E.	FIRELANE, ACCESS, DRAINAGE & UTILITY EASEMENT
H.B.T.E.	HIKE & BIKE TRAIL EASEMENT
L.P.A.E.	LANDSCAPE & PUBLIC ACCESS EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
W.E.	WATER EASEMENT

**MATCH LINE SEE SHEET 2 OF 3**

<b>SURVEYOR:</b> Kimley-Horn and Associates, Inc. 5750 Genesis Court, Suite 200 Frisco, TX 75034 P (972) 335-3580 F (972) 335-3779 Contact: Michael B. Marx, R.P.L.S.	<b>ENGINEER:</b> Kimley-Horn and Associates, Inc. 250 East Davis Street, Suite 100 McKinney, TX 75069 P (469) 301-2580 Contact: Rachel Korus, P.E.	<b>OWNER:</b> 289 (Preston) & 380, L.P. 1 Cowboys Way Frisco, TX 75063 Contact: Tom Walker, Assistant Treasurer	<b>OWNER:</b> GOP #3, LLC 1 Cowboys Way Frisco, TX 75063 Contact: Tom Walker, Assistant Treasurer	<b>OWNER:</b> 183 Land Corporation 183 Land Corporation Frisco, TX 75063 Contact: Tom Walker, Assistant Treasurer
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DRAWN: KIMLEY-HORN AND ASSOCIATES, INC. DATE: 04/01/2024 11:53 AM LAST SAVED: 07/20/2024 10:53 AM



REVISED CONVEYANCE PLAT  
GATES OF PROSPER, PHASE 2  
BLOCK B, LOT 2R AND  
BLOCK D LOTS 2 AND 3  
AN ADDITION TO THE TOWN OF PROSPER  
PD-67  
114.219 ACRES

SITUATED IN THE  
COLLIN COUNTY SCHOOL LAND NO. 12 SURVEY, ABSTRACT  
NO. 147, & THE JOHN YARNELL SURVEY, ABSTRACT NO. 1038  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

APRIL - 2024  
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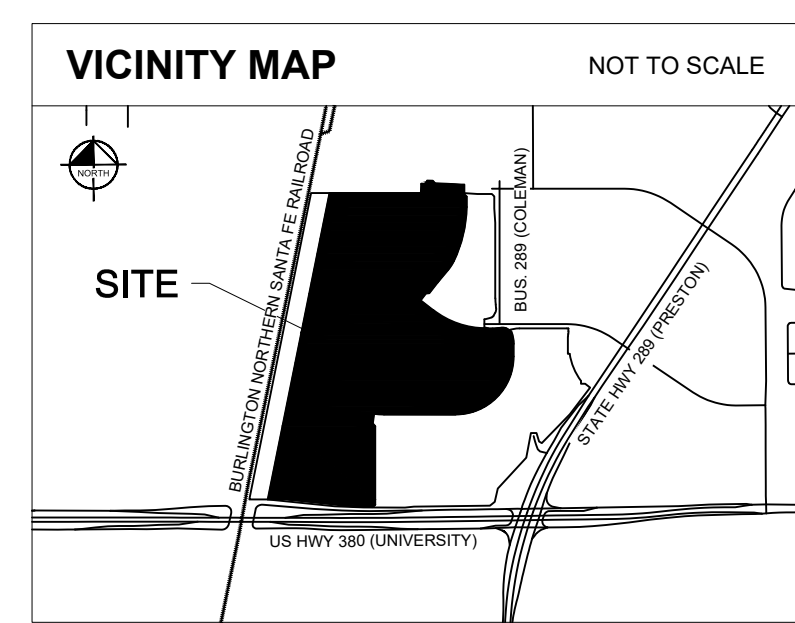
# Kimley»Horn

6160 Warren Parkway, Suite 210  
Frisco, Texas 75034  
FIRM # 10193822  
Tel. No. (972) 335-3580  
Fax No. (972) 335-3779

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	MBM	KHA	04/01/2024	068109090	2 OF 3

### LEGEND

BOUNDARY LINE	IRFC
EASEMENT LINE	IRFC
PROPERTY LINE	IRFC
IRON ROD FOUND	IRFC
IRON ROD FOUND WITH CAP	IRFC
IRON ROD SET WITH CAP	IRFC
NOT TO SCALE	NTS
CONTROLLING MONUMENT	(CM)
DEED RECORDS OF COLLIN COUNTY, TEXAS	D.R.C.C.T.
MAP RECORDS OF COLLIN COUNTY, TEXAS	M.R.C.C.T.
OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS	O.P.R.C.C.T.
FOUND	FND
ALUM. MON. ALUMINUM DISK MONUMENT	ALUM. MON.
DRAINAGE EASEMENT	D.E.
FIRELANE ACCESS, DRAINAGE & UTILITY EASEMENT	F.A.U.D.E.
H.B.T.E. HIRE & BIKE TRAIL EASEMENT	H.B.T.E.
L.P.A.E. LANDSCAPE & PUBLIC ACCESS EASEMENT	L.P.A.E.
LANDSCAPE & PUBLIC ACCESS EASEMENT	L.P.A.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.



- ### NOTES:
- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
  - Bearing system based on the southerly right of way line of Lovers Lane as created in the Conveyance Plat of Gates of Prosper, Phase 2, an addition to the Town of Prosper, according to the plat, recorded in Volume 2019, Page 252 of the Map Records of Collin County, Texas, said bearing being North 90°00'00" East.
  - According to Map No. 48085C0235 J dated June 2, 2009, of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is located in Zone X (unshaded) and is not within a special flood hazard area. If this site is within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
  - Notice: A conveyance plat is a record of property approved by the Town of Prosper, Texas, for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the Town of Prosper. Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
  - Landscape easements shall be required when a final platting of the lots within this conveyance plat are prepared.
  - The purpose of this plat is to create new lots, dedicate new street rights of way and easements.
  - Block D, Lot 2 to be dedicated the Town of Prosper.

**SURVEYOR:**  
Kimley-Horn and Associates, Inc.  
5750 Genesis Court, Suite 200  
Frisco, TX 75034  
P (972) 335-3580  
F (972) 335-3779  
Contact: Michael B. Marx, R.P.L.S.

**ENGINEER:**  
Kimley-Horn and Associates, Inc.  
250 East Davis Street, Suite 100  
McKinney, TX 75069  
P (469) 301-2580  
Contact: Rachel Korus, P.E.

**OWNER:**  
289 (Preston) & 380, L.P.  
1 Cowboys Way  
Frisco, TX 75063  
Contact: Tom Walker,  
Assistant Treasurer

**OWNER:**  
GOP #3, LLC  
1 Cowboys Way  
Frisco, TX 75063  
Contact: Tom Walker,  
Assistant Treasurer

**OWNER:**  
183 Land Corporation  
1 Cowboys Way  
Frisco, TX 75063  
Contact: Tom Walker,  
Assistant Treasurer



**OWNER'S CERTIFICATE**

STATE OF TEXAS §

COUNTY OF COLLIN §

WHEREAS, 289 (PRESTON) & 380, L.P., GOP #3, LLC, and 183 Land Corporation are the owners of a tract of land situated in the Collin County School Land No. 12 Survey, Abstract No.147, and the John Yarnell Survey, Abstract No. 1038, all of the Town of Prosper, Collin County, Texas and being a portion of Block B, Lot 2 of the Gates of Prosper, Phase 2, an addition to the Town of Prosper, according to the Conveyance Plat recorded in Volume 2020, Page 807 of the Plat Records of said county, same being a part of Tract 1, a called 17.743 acres tract, described in a Warranty Deed to GOP #3 LLC, as recorded in Instrument No. 20220126000138830 of the Official Public Records of said county, a part of a called 157.1346 acres tract described in a Deed to 289 (Preston) & 380, L.P. as recorded in Instrument No. 20121221001629970 and Instrument No. 20121221001629980 of said Official Public Records, a part of Tract Seven, a called 123.850 acres tract described in Deed to 289 (Preston) & 380 L.P., as recorded in Instrument No. 2019011800061180 of said Official Public Records, and a part of Tract Six, a called 125.926 acres tract described in a Special Warranty Deed to 183 Land Corporation, as recorded in County Clerk File No. 97-0005168 of the Deed Records of said county as corrected in Instrument No. 20210407000704790 of said Official Public Records, and being more particularly described by metes and bounds as follows:

**BEGINNING** at a concrete TXDOT right of way monument found for the southwest corner of said Block B, Lot 2, and being at the intersection of the northerly right of way line of University Drive (U. S. Highway 380), a variable width right of way and the easterly right-of-way line of Burlington Northern Santa Fe Railroad (100' R.O.W.),

**THENCE** North 11°23'13" East, leaving the northerly right-of-way line of said U. S. Highway 380, along the easterly right-of-way line of said Burlington Northern Santa Fe Railroad, and along the westerly line of said Lot 2, passing at a distance of 3,254.81 feet, the northwest corner of said Lot 2, continuing along the westerly line of said Tract Six, a total distance of 3,258.10 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for the northwest corner of said Lot 2, from which, a found 1/2-inch iron rod with a plastic cap, stamped "B&C RANDOM", bears South 29°06' East, 6.62 feet;

**THENCE** North 89°24'18" East, leaving the easterly right-of-way line of said Burlington Northern Santa Fe Railroad and crossing said Tract Six, a distance of 711.40 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for corner;

**THENCE** South 87°01'54" East, continuing across said Tract Six, a distance of 150.29 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for corner;

**THENCE** South 87°42'10" East, continuing across said Tract Six, passing the northerly line of aforesaid Block B, Lot 2, continuing across said Lot 2, a total distance of 90.32 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for corner;

**THENCE** North 02°17'50" East, continuing across said Lot 2, passing the northerly line of said Lot 2 and crossing said Tract Six, a distance of 100.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for corner;

**THENCE** South 87°42'10" East, continuing across said Tract Six, a distance of 34.68 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for corner;

**THENCE** North 47°17'50" East, continuing across said Tract Six, a distance of 35.36 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for corner;

**THENCE** North 02°17'50" East, continuing across said Tract Six, a distance of 10.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for corner;

**THENCE** South 87°42'10" East, continuing across said Tract Six, a distance of 60.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for corner;

**THENCE** South 42°42'10" East, continuing across said Tract Six, a distance of 35.36 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for corner;

**THENCE** South 87°42'10" East, continuing across said Tract Six, a distance of 125.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for corner;

**THENCE** South 86°49'21" East, continuing across said Tract Six, a distance of 150.02 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for corner;

**THENCE** North 90°00'00" East, continuing across said Tract Six, a distance of 29.06 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for northwest corner of Lovers Lane, a variable width right of way as dedicated in Gates of Prosper Multi-Family, Phase 1, an addition to the Town of Prosper, according to the Conveyance Plat recorded in Volume 2023, Page 550 of the Plat Records of said county;

**THENCE** South 00°00'00" East, along the westerly terminus of said Lovers Lane, a distance of 100.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the westerly corner of a visibility clip at the intersection of the westerly terminus of said Lovers Lane with the westerly right of way line of Gateway Drive, a variable width right of way as dedicated in said Gates of Prosper Multi-Family, Phase 1;

**THENCE** in a southerly direction, along the westerly right of way line of said Gateway Drive, the following:

South 45°00'04" East, a distance of 35.36 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

South 00°00'05" East, a distance of 110.09 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the beginning of a non-tangent curve to the right with a radius of 1,370.00 feet, a central angle of 24°23'26", and a chord bearing and distance of South 13°21'26" West, 578.81 feet;

in a southerly direction, with said non-tangent curve to the right, an arc distance of 583.20 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the beginning of a compound curve to the right with a radius of 420.00 feet, a central angle of 14°20'22", and a chord bearing and distance of South 32°43'20" West, 104.84 feet;

in a southerly direction, with said compound curve to the right, an arc distance of 105.11 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

South 39°53'31" West, a distance of 149.14 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the beginning of a tangent curve to the left with a radius of 880.00 feet, a central angle of 01°40'57", and a chord bearing and distance of South 39°03'03" West, 25.84 feet;

in a southerly direction, with said tangent curve to the left, an arc distance of 25.84 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

South 38°12'34" West, a distance of 140.96 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

South 83°12'34" West, a distance of 35.36 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the westerly corner of a visibility clip at the intersection of the westerly right of way line of said Gateway Drive with the westerly terminus of Richland Boulevard, a variable width right of way as dedicated in said Gates of Prosper Multi-Family, Phase 1;

**THENCE** South 38°12'34" West, along the westerly terminus of said Richland Boulevard, a distance of 90.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for southwesterly corner of said Richland Boulevard as dedicated in said Gates of Prosper Multi-Family, Phase 1 and as dedicated in the Gates of Prosper, Phase 2, Block A, Lot 1 an addition to the Town of Prosper, according to the Conveyance Plat recorded in Volume 2019, Page 252 of the Plat Records of said county;

**THENCE** in an easterly direction, along the southerly right of way line of said Richland Boulevard, the following:

South 51°47'26" East, a distance of 163.53 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the beginning of a tangent curve to the left with a radius of 895.00 feet, a central angle of 38°12'34", and a chord bearing and distance of South 70°53'43" East, 585.86 feet;

in an easterly direction, with said tangent curve to the left, an arc distance of 596.86 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

North 90°00'00" East, a distance of 65.58 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the beginning of a tangent curve to the left with a radius of 509.91 feet, a central angle of 06°58'57", and a chord bearing and distance of North 86°30'31" East, 62.10 feet;

in an easterly direction, with said tangent curve to the left, an arc distance of 62.14 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

North 83°01'03" East, a distance of 37.72 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the beginning of a non-tangent curve to the right with a radius of 83.00 feet, a central angle of 35°40'46", and a chord bearing and distance of South 79°07'59" East, 50.85 feet;

in an easterly direction, with said non-tangent curve to the right, an arc distance of 51.69 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

South 61°17'36" East, a distance of 36.82 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the beginning of a tangent curve to the right with a radius of 38.00 feet, a central angle of 39°59'13", and a chord bearing and distance of South 41°18'00" East, 25.99 feet;

in a southerly direction, with said tangent curve to the right, an arc distance of 26.52 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the intersection of the southerly right of way line of said Richland Boulevard with the westerly right of way line of Gates Parkway, a variable width right of way as dedicated in said Volume 2019, Page 252, and being the beginning of a compound curve to the right with a radius of 338.00 feet, a central angle of 21°18'24", and a chord bearing and distance of South 10°39'12" East, 124.97 feet;

**THENCE** in a southerly direction, along the westerly right of way line of said Gates Parkway, with said compound curve to the right, an arc distance of 125.69 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

**THENCE** South 00°00'00" West, continuing along the westerly right of way line of said Gates Parkway as dedicated in said Volume 2019, Page 252 and as dedicated in Gates of Prosper, Phase 3, Block C, Lots 2 & 3 an addition to the Town of Prosper, according to the Conveyance Plat recorded in Volume 2023, Page 567 of the Plat Records of said county, a distance of 130.76 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the beginning of a tangent curve to the right with a radius of 605.00 feet, a central angle of 90°00'00", and a chord bearing and distance of South 45°00'00" West, 855.60 feet;

**THENCE** in a southerly direction, continuing along the westerly, becoming northerly, right of way line of said Gates Parkway with said tangent curve to the right, an arc distance of 950.33 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

**THENCE** North 90°00'00" West, continuing along the northerly right of way line of said Gates Parkway, a distance of 747.44 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the beginning of a tangent curve to the right with a radius of 805.00 feet, a central angle of 07°17'44", and a chord bearing and distance of North 86°21'08" West, 102.43 feet;

**THENCE** in a westerly direction, continuing along the northerly right of way line of said Gates Parkway, with said tangent curve to the right, an arc distance of 102.50 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the northwesterly corner of said Gates Parkway;

**THENCE** South 07°18'17" West, along the westerly terminus of said Gates Parkway, a distance of 100.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the westerly corner of a corner clip at the intersection of the westerly terminus of said Gates Parkway with the westerly right of way line of Commerce Street, a variable width right of way as dedicated in said Volume 2023, Page 567 of the Plat Records of said county;

**THENCE** South 41°47'29" East, along the westerly right of way line of said Commerce Street, a distance of 37.51 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

**THENCE** South 00°00'00" East, continuing along the westerly right of way line of said Commerce Street, a distance of 819.37 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

**THENCE** South 46°02'10" West, continuing along the westerly right of way line of said Commerce Street, a distance of 34.73 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the westerly corner of the westerly right of way line of said Commerce Street with the northerly right of way line of aforesaid University Drive (U. S. Highway 380);

**THENCE** North 87°55'41" West, along the northerly right of way line of said University Drive (U. S. Highway 380), a distance of 203.12 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

**THENCE** North 84°07'36" West, continuing along the northerly right of way line of said University Drive (U. S. Highway 380), a distance of 703.49 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for corner;

**THENCE** North 89°50'13" West, continuing along the northerly right of way line of said University Drive (U. S. Highway 380), a distance of 191.82 feet to the **POINT OF BEGINNING** and containing 114.219 acres (4,975,400 square feet) of land, more or less.

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

THAT WHEREAS, 289 (PRESTON) & 380, L.P., GOP #3, LLC, and 183 Land Corporation, acting herein by and through its duly authorized officer, does hereby certify and adopt this revised conveyance plat designating the herein above described property as **GATES OF PROSPER, PHASE 2, BLOCK B, LOT 2 & BLOCK C, LOT 1**, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. **WHEREAS, 289 (PRESTON) & 380, L.P., GOP #3, LLC, and 183 Land Corporation** do herein certify the following:

- The streets and alleys are dedicated for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
- The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
- The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the Town of Prosper.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas. WITNESS, my hand, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**BY: 289 (PRESTON) & 380, L.P.**

Authorized Signature

Tom Walker, Assistant Treasurer

Printed Name and Title

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Tom Walker, Assistant Treasurer, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas

**BY: GOP #3, LLC**

Authorized Signature

Tom Walker, Assistant Treasurer

Printed Name and Title

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Tom Walker, Assistant Treasurer, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas

**BY: 183 Land Corporation**

Authorized Signature

Tom Walker, Assistant Treasurer

Printed Name and Title

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Tom Walker, Assistant Treasurer, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas

Notary Public, State of Texas

Notary Public, State of Texas

**SURVEYOR:**  
Kimley-Horn and Associates, Inc.  
5750 Genesis Court, Suite 200  
Frisco, TX 75034  
P (972) 335-3580  
F (972) 335-3779  
Contact: Michael B. Marx, R.P.L.S.

**ENGINEER:**  
Kimley-Horn and Associates, Inc.  
260 East Davis Street, Suite 100  
McKinney, TX 75069  
P (469) 301-2580  
Contact: Rachel Korus, P.E.

**OWNER:**  
289 (Preston) & 380, L.P.  
1 Cowboys Way  
Frisco, TX 75063  
Contact: Tom Walker,  
Assistant Treasurer

**OWNER:**  
GOP #3, LLC  
1 Cowboys Way  
Frisco, TX 75063  
Contact: Tom Walker,  
Assistant Treasurer

**OWNER:**  
183 Land Corporation  
1 Cowboys Way  
Frisco, TX 75063  
Contact: Tom Walker,  
Assistant Treasurer

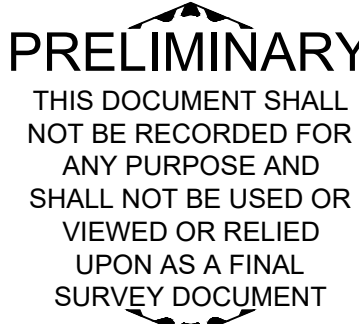
**SURVEYOR'S CERTIFICATE**

Know All Men By These Presents:

That I, Michael B. Marx, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas



STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Michael B. Marx, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas

**CERTIFICATE OF APPROVAL**

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by the Planning & Zoning Commission of the Town of Prosper, Texas.

- \_\_\_\_\_ Town Secretary
- \_\_\_\_\_ Engineering Department
- \_\_\_\_\_ Development Services Department

**REVISED CONVEYANCE PLAT  
GATES OF PROSPER, PHASE 2  
BLOCK B, LOT 2R AND  
BLOCK D LOTS 2 AND 3  
AN ADDITION TO THE TOWN OF PROSPER  
PD-67  
114.219 ACRES**

SITUATED IN THE  
COLLIN COUNTY SCHOOL LAND NO. 12 SURVEY, ABSTRACT  
NO. 147, & THE JOHN YARNELL SURVEY, ABSTRACT NO. 1038  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

APRIL - 2024  
DEVAPP-23-0168

<b>Kimley»Horn</b>					
6160 Warren Parkway, Suite 210 Frisco, Texas 75034			FIRM # 10193822		Tel. No. (972) 335-3580 Fax No. (972) 335-3779
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	MBM	KHA	04/01/2024	068109090	3 OF 3

DWG NAME: K:\P\F\1\_SURVEY\068109090-GATES OF PROSPER\PHASE 2\REVISED\CONVEYANCE PLAT\508109090-GOP BLOCK B LOT 2 RCP VERGSDWG - PLOTTED BY: MARX, MICHAEL - 07/2024 10:54 AM LAST SAVED: 07/2024 9:50 AM



## PLANNING

**To:** Planning & Zoning Commission  
**From:** Jerron Hicks, Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Planning & Zoning Commission Meeting – April 23, 2024

---

**Item No. 3e**

**Agenda Item:**

Consider and act upon a request for a Site Plan for a Big Box, Gas Pumps with Kiosk, and a Car Wash, on Frontier Retail Center, Block A, Lot 6, on 16.9± acres, located on the south side of Frontier Parkway and 250± feet east of Dallas Parkway. (DEVAPP-23-0182)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as Dallas North Tollway District.

**Zoning:**

The property is zoned Planned Development-69 (Retail).

**Conformance:**

The Site Plan conforms to the development standards of Planned Development-69. Per Planned Development-69, the Site Plan must be approved by Town Council.

**Description of Agenda Item:**

The Site Plan consists of a 133,373 square foot Big Box. Along Frontier Parkway, there will be gas pumps with an associated kiosk and a car wash totaling 1,139 square feet. This Site Plan is in conformance with the Preliminary Site Plan (D22-0098), which was approved at the Planning & Zoning Commission meeting on June 6, 2023.

**Access:**

Access is provided from Frontier Parkway and Dallas Parkway. Connectivity will be provided to a future collector street being constructed along the east side of the property. Cross access is provided throughout the overall commercial development.



**Landscaping, Open Space, and Screening:**

The proposed development complies with all landscaping, open space, and screening requirements.

**Companion Item:**

As companion items, the Final Plat (DEVAPP-23-0179) and the Façade Plan (DEVAPP-23-0180) are on this Planning & Zoning Commission agenda.

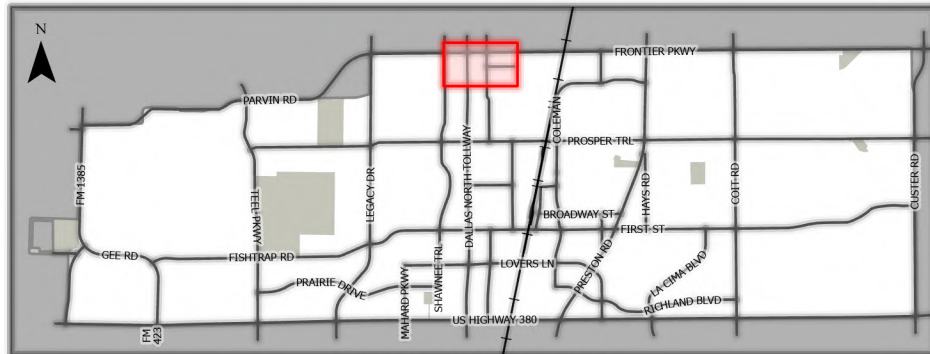
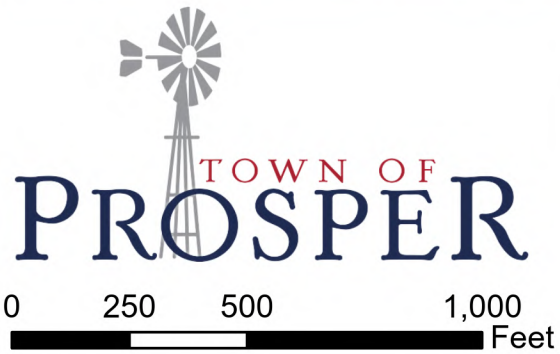
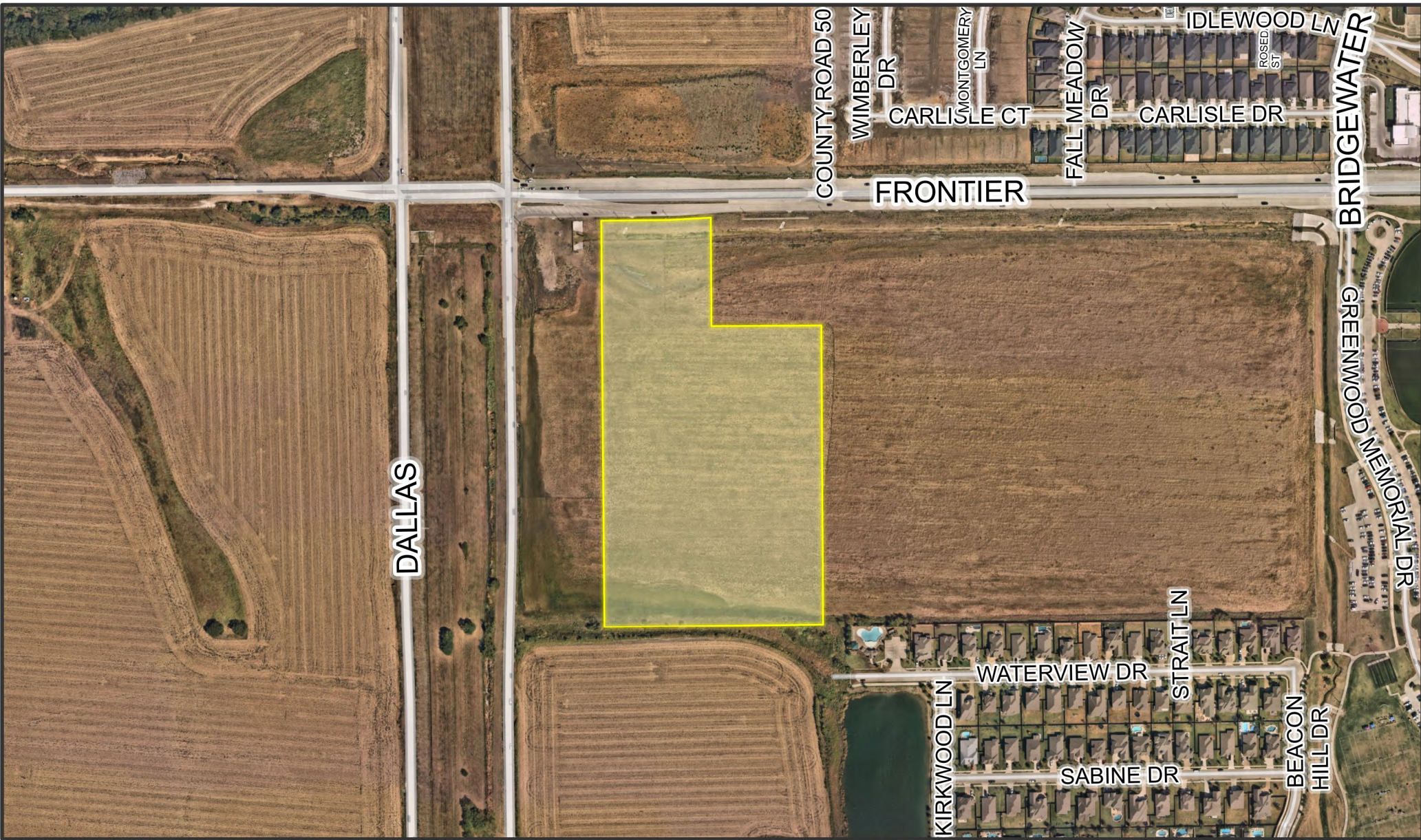
**Attachments:**

1. Location Map
2. Site Plan
3. Approved Preliminary Site Plan (D22-0098)

**Town Staff Recommendation:**

Town Staff recommends approval of the Site Plan.





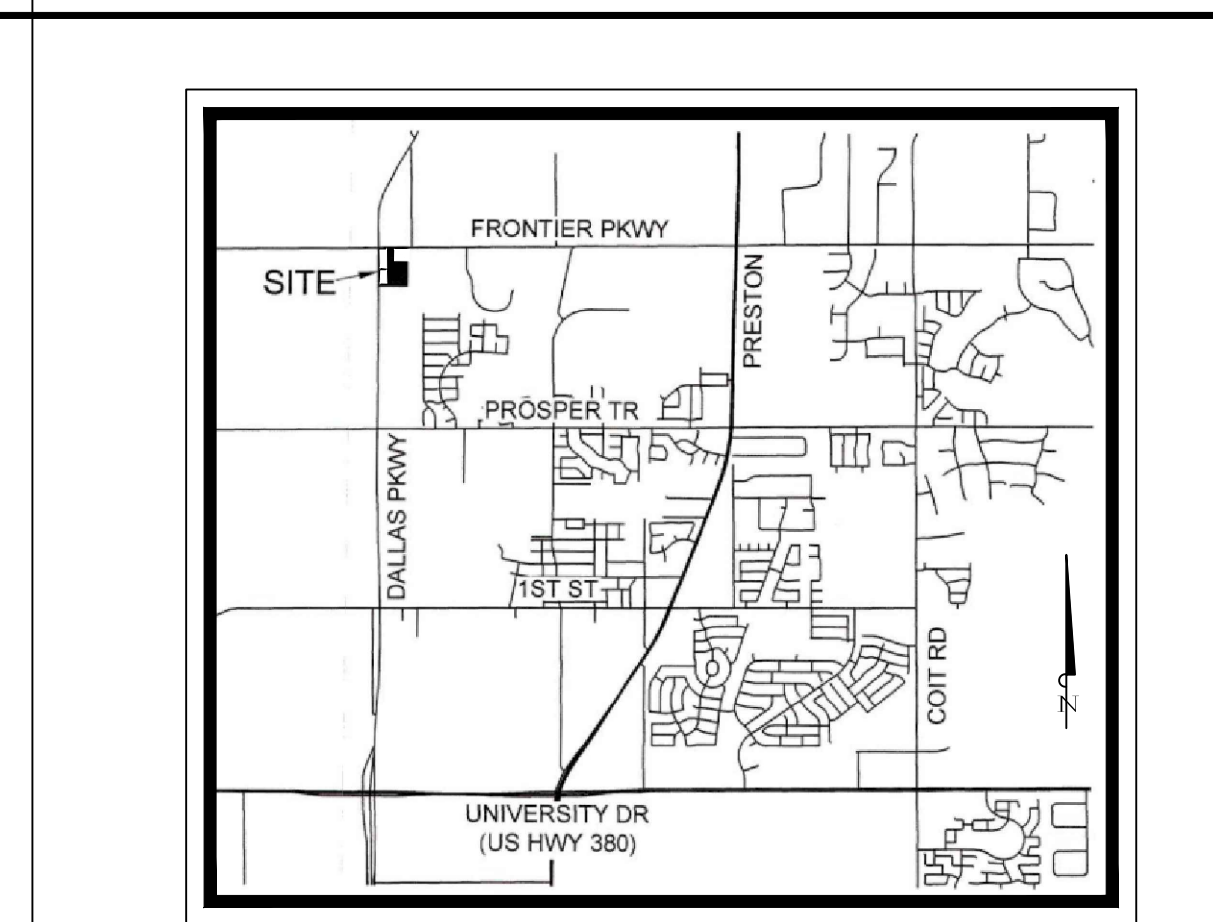
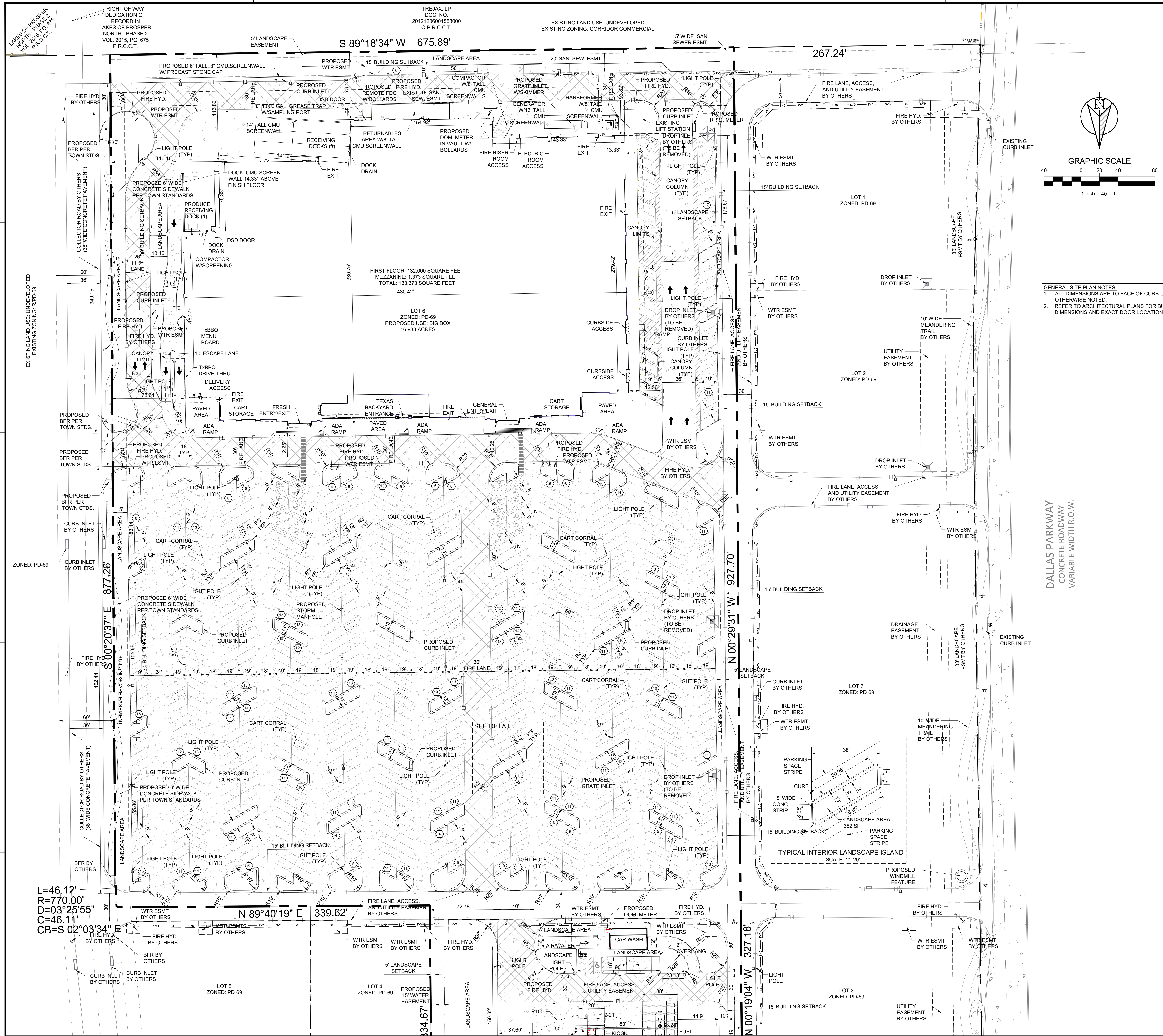
DEVAPP-23-0182

H-E-B

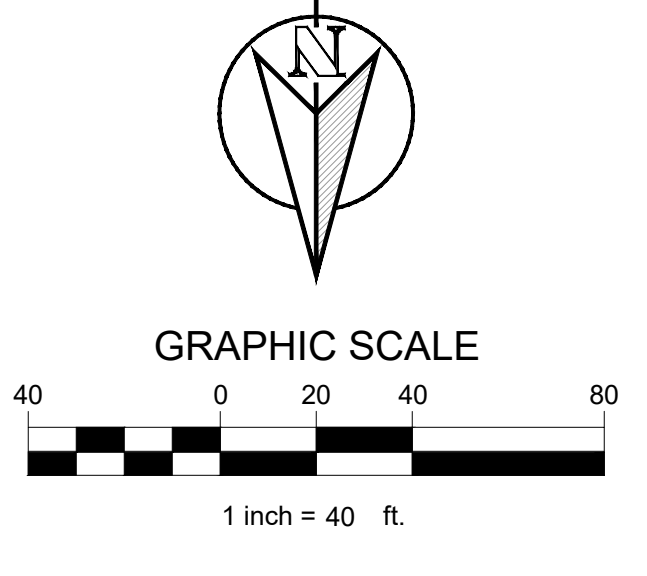
Site Plan

This map for illustration purposes only





**E6** VICINITY MAP  
NOT TO SCALE



**LEGEND**

	5' THICK REINFORCED CONCRETE PAVEMENT FOR PARKING
	7' THICK REINFORCED CONCRETE PAVEMENT FOR FIRE LANE/TRUCK DELIVERY
	PROPOSED FIRE LANE
	PROPERTY LINE
	EASEMENT LINE
	PARKING COUNT

**GENERAL SITE PLAN NOTES:**  
 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.  
 2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.

12.18.2023

STATE OF TEXAS  
 COUNTY CLERK  
 DREW DONOSKY  
 12565  
 12/18/2023  
 4/18/2024

TEXAS REGISTRATION #1199

**CLAYMOORE ENGINEERING**  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 PH: 817.281.0572  
 WWW.CLAYMOOREENGINEERING.COM

PLOTTED BY: DAN CASALERO  
 PLOT DATE: 4/18/2024 2:20 PM  
 LOCATION: 2. PROJECTS\PROJECTS\2022-023-HEB PROSPER\CADD SHEETS\H-E-B SHEETS\BUILDING PLANS\C-1.0 SITE PLANDWG  
 LAST SAVED: 4/18/2024 2:17 PM

L=46.12'  
 R=770.00'  
 D=03°25'55"  
 C=46.11'  
 CB=S 02°03'34" E

**A1**

**SITE PLAN**

SEE SP-2 FOR FUEL STATION CONTINUATION

SEE SP-2 FOR TOWN SITE PLAN NOTES, WATER METER TABLE, AND SITE DATA TABLE

PREPARATION DATE: 4/18/2024

<b>SITE PLAN</b>	
DEVAPP-23-0182	
FRONTIER RETAIL CENTER	
BLOCK A, LOT 6	
16.933 ACRES	
TOWN OF PROSPER, COLLIN COUNTY, TEXAS	
OWNER:	
H.E.B. LP 643 S. MAIN STREET SAN ANTONIO, TEXAS 75002 PH: 210.538.9000	CONTACT NAME: JOHN ROSE
APPLICANT:	
CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	CONTACT NAME: DREW DONOSKY, PE
SURVEYOR:	
EAGLE SURVEYING, LLC 210 SOUTH ELM STREET, SUITE 104 TX 75087 PH: 940.222.3009	CONTACT NAME: MASON DECKER
LEGAL DESCRIPTION:	
BEING ALL OF LOT 6, BLOCK A, 16.933 ACRES OUT OF COLLIN COUNTY SCHOOL LAND SURVEY, SECTION NO. 12, ABSTRACT NO. 147, ADDITION TO THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS	
CITY:	STATE:
TOWN OF PROSPER	TEXAS
COUNTY:	SURVEY:
COLLIN	COLLIN COUNTY SCHOOL LAND SURVEY, SECTION NO. 12
ABSTRACT NO:	147

SCALE: AS NOTED  
 CONSULT: 2. 2023-123  
 DATE: 4/18/24  
 SHEET NO: SP-1

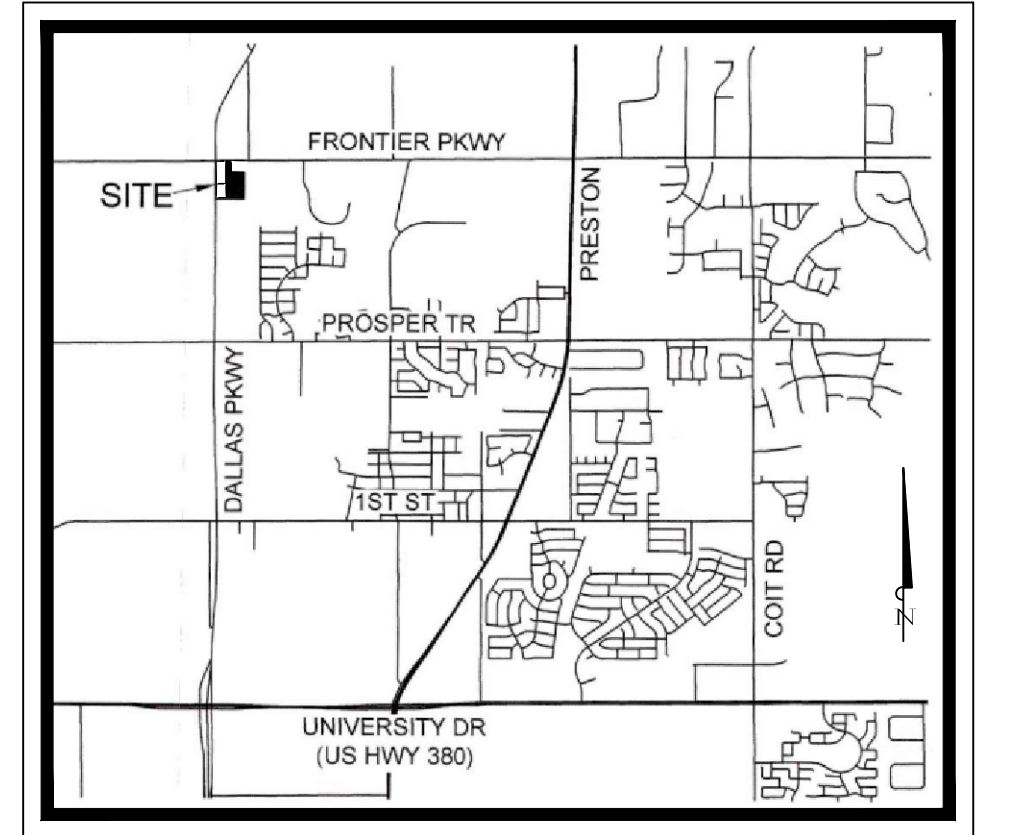
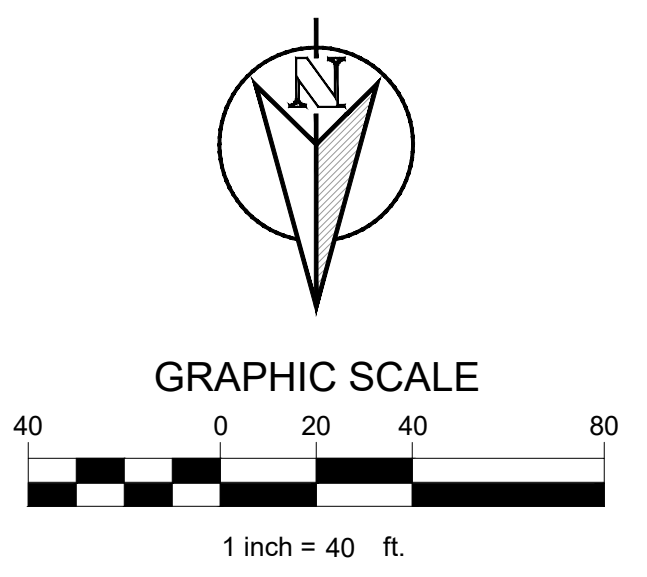
**H-E-B**

**SITE PLAN**

H.E.B. PROSPER - CORP # 809  
 BEING LOT 6, BLOCK A, 16.933 ACRES OUT OF COLLIN COUNTY SCHOOL LAND SURVEY, SECTION NO. 12, ABSTRACT NO. 147, TOWN OF PROSPER, TEXAS



SITE DATA SUMMARY														
LOT	ZONING	PROPOSED USE	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BUILDING AREA (SQ. FT.)	BLDG. HGT. (FT.# ST.)	LOT COVERAGE		FLR AREA RATIO		PARKING		TOTAL IMPERVIOUS (SQ. FT.)	TOTAL PERVIOUS (SQ. FT.)
							REQ.	PROV.	REQ.	PROV.	REQ. RATIO	REQ.		
6	PD-69 RETAIL	BIGBOX	16.93	737,608	132,000 - 1ST FLR	34'-8" 2 STORY	50% MAX	17.9%	0.5:1 MAX	0.18:1	1 SPACE/ 250 SF (RETAIL)		534	835
		FUEL STATION/CARWASH			203 KIOSK 916 CARWASH						1 SP/ 500 SF (CARWASH) OR 1 SP PER EMPL. WHICH EVER GREATER		5	7
			OPEN SPACE		INTERIOR LANDSCAPING		TOTAL PERVIOUS (SQ. FT.)							
			REQ. (7% SITE AREA), SQ. FT.		REQUIRED		PROVIDED		159,879		22%			
			51,633		62,149		16,840		18,684					



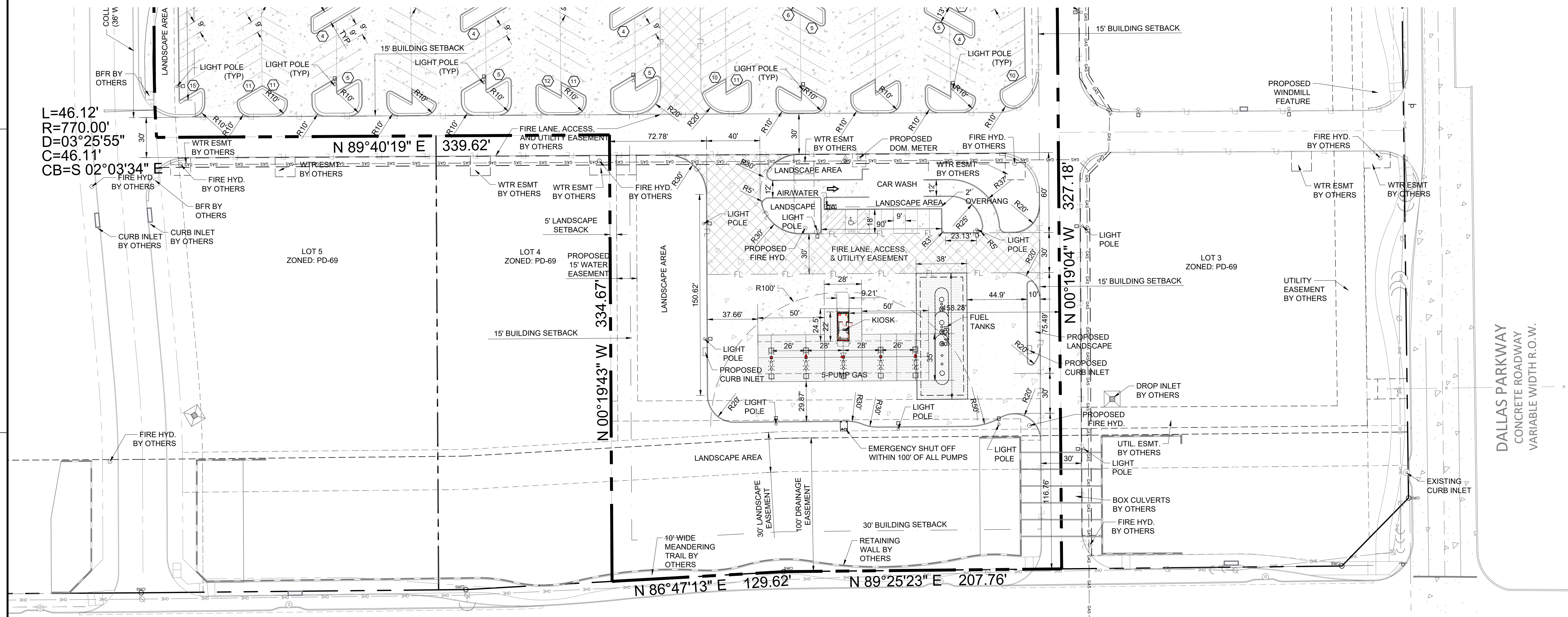
**E6** VICINITY MAP  
NOT TO SCALE

WATER METER SCHEDULE				
ID	TYP.	SIZE	NO.	SAN. SEWER
1	DOM.	3"	1	6"
2	IRR.	2"	1	N/A
3	DOM. (FUEL)	1 1/2"	1	6"

LEGEND	
	5" THICK REINFORCED CONCRETE PAVEMENT FOR PARKING
	7" THICK REINFORCED CONCRETE PAVEMENT FOR FIRE LANE/TRUCK DELIVERY
	PROPOSED FIRE LANE
	PROPERTY LINE
	EASEMENT LINE
	PARKING COUNT

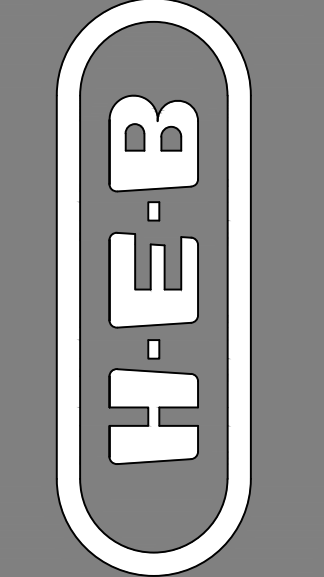
**GENERAL SITE PLAN NOTES:**  
 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.  
 2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.

SEE SP-1 FOR BUILDING AND PARKING CONTINUATION



- SITE PLAN NOTES**
- All development standards shall follow Town Standards.
  - Landscaping shall conform to landscape plans approved by the Town of Prosper.
  - All development standards shall follow Fire Requirements per the Town of Prosper.
  - Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
  - All signage is subject to Building Official approval.
  - Impact fees will be assessed in accordance with the land use classification(s) identified on the Site Data Summary Table; however, changes to the proposed land use at the time of CO and/or finish-out permit may result in additional impact fees and/or parking requirements.
  - The approval of a Preliminary Site Plan shall be effective for a period of two (2) years from the date that the Preliminary Site Plan is approved by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received the approval of a Site Plan by the Planning & Zoning Commission. If a site plan is not approved within such two (2) year period, the Preliminary Site Plan approval is null and void. If Site Plan approval is only for a portion of the property, the approval of the Preliminary Site Plan for the remaining property shall be null and void.
  - Open Space requirements shall follow the Zoning Ordinance, per tract. Open Space shall not include vehicular paving, required parking lot landscape islands, building footprint, utility yards, required landscape setbacks, sidewalks, and detention pond.

STATE OF TEXAS  
 DREW DONOSKY  
 12565  
 4/18/2024  
 TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 PH: 817.281.0572



PREPARATION DATE: 4/18/2024

**SITE PLAN**  
 DEVAPP-23-0182  
 FRONTIER RETAIL CENTER  
 BLOCK A, LOT 6  
 16.933 ACRES  
 TOWN OF PROSPER, COLLIN COUNTY, TEXAS

**OWNER:**  
 H.E.B. LP  
 643 S. MAIN STREET  
 SAN ANTONIO, TEXAS 75002  
 PH: 210.538.8000 CONTACT NAME: JOHN ROSE

**APPLICANT:**  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 PH: 817.281.0572 CONTACT NAME: DREW DONOSKY, PE

**SURVEYOR:**  
 EAGLE SURVEYING, LLC  
 210 SOUTH ELM STREET, SUITE 104  
 TX 75097  
 PH: 940.222.3009 CONTACT NAME: MASON DECKER

**LEGAL DESCRIPTION:**  
 BEING ALL OF LOT 6, BLOCK A, FRONTIER RETAIL CENTER RECORDED IN 2024010000070, O.P.C.R.T., SITUATED IN THE COLLIN COUNTY SCHOOL LAND SURVEY, SECTION NO. 12, ABSTRACT NO. 147, ADDITION TO THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS

**CITY:** TOWN OF PROSPER **STATE:** TEXAS

**COUNTY:** COLLIN **SURVEY:** COLLIN COUNTY SCHOOL LAND SURVEY, SECTION NO. 12 **ABSTRACT NO.:** 147

**SITE PLAN**

H.E.B. PROSPER - CORP # 809  
 BEING LOT 6, BLOCK A, 16.933 ACRES OUT OF COLLIN COUNTY SCHOOL LAND SURVEY, SECTION NO. 12, ABSTRACT NO. 147, TOWN OF PROSPER, TEXAS

SCALE: AS NOTED  
 CONSUL. PROJ. NO.: 2023-123  
 DATE: 4/18/24  
 SHEET NO.: SP-2

PLOTTED BY: DAN, CABALLERO  
 PLOT DATE: 4/18/2024 2:20 PM  
 LOCATION: 2: PROJECTS\PROJECTS\2022-2023\HEB PROSPER\CADD\SHEETS\H-E-B SHEETS\BUILDING PLANS\C-1.0 SITE PLANDWG  
 LAST SAVED: 4/18/2024 2:17 PM

**A1** SITE PLAN  
1" = 40'



# Approved Preliminary Site Plan (D22-0098)

JULIE MOSELY  
AS TRUSTEE OF THE TRUST  
AGREEMENT OF THOMAS MOSELY  
DOC. NO. 201903001072500  
O.P.R.C.C.T.

TRACT 2  
SOUTHWEST LLC  
DOC. NO. 2019112501498990  
O.P.R.C.C.T.

PARCEL NO. 12  
PERMANENT RIGHT-OF-WAY  
DOC. NO. 202012200230972  
O.P.R.C.C.T.

LEGEND	
	STANDARD DUTY CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	R.O.W. COLLECTOR STREET
	DUMPSTER AREA CONCRETE PAVEMENT
	SIDEWALK CONCRETE PAVEMENT
	PROPOSED CONCRETE CURB AND GUTTER
	PARKING COUNT
	FULL-DEPTH SAWCUT
	PROPOSED FIRE LANE STRIPPING

TEXAS REGISTRATION #14199

1900 CENTRAL DRIVE, SUITE #406  
SPROSER, TX 75081  
PHONE: 817.201.6982  
WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
CLAYMOORE ENGINEERING  
ENGINEERING AND PLANNING CONSULTANTS  
Engineer: MATT MOORE  
P.E. No. 98351, Date: 5/23/2023

**FRONTIER RETAIL CENTER**  
BEING PART OF 70.91 ACRES OF LAND  
OUT OF COLLIN COUNTY SCHOOL LAND  
SURVEY, ABSTRACT NO. 147  
SPROSER, TEXAS

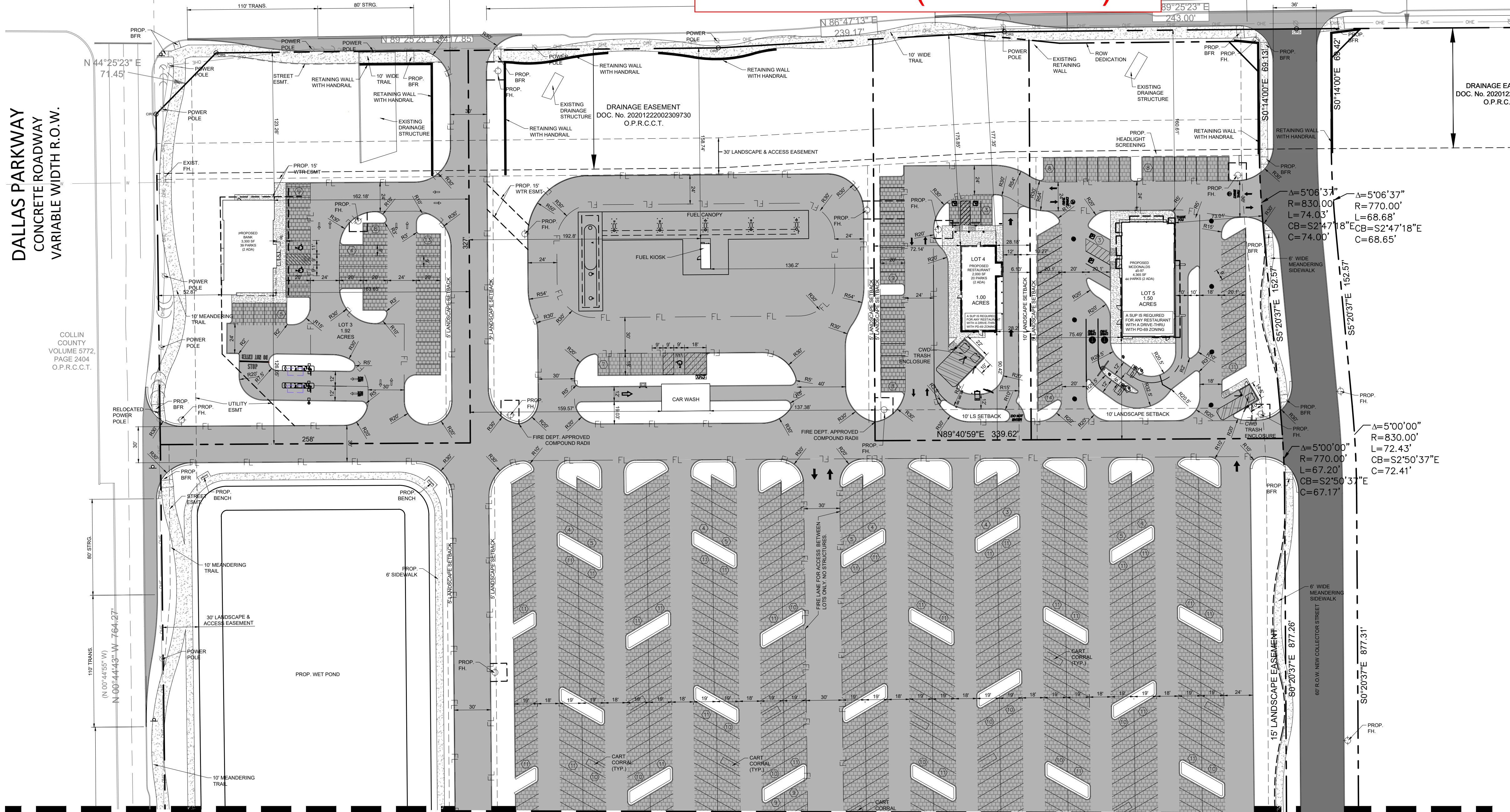
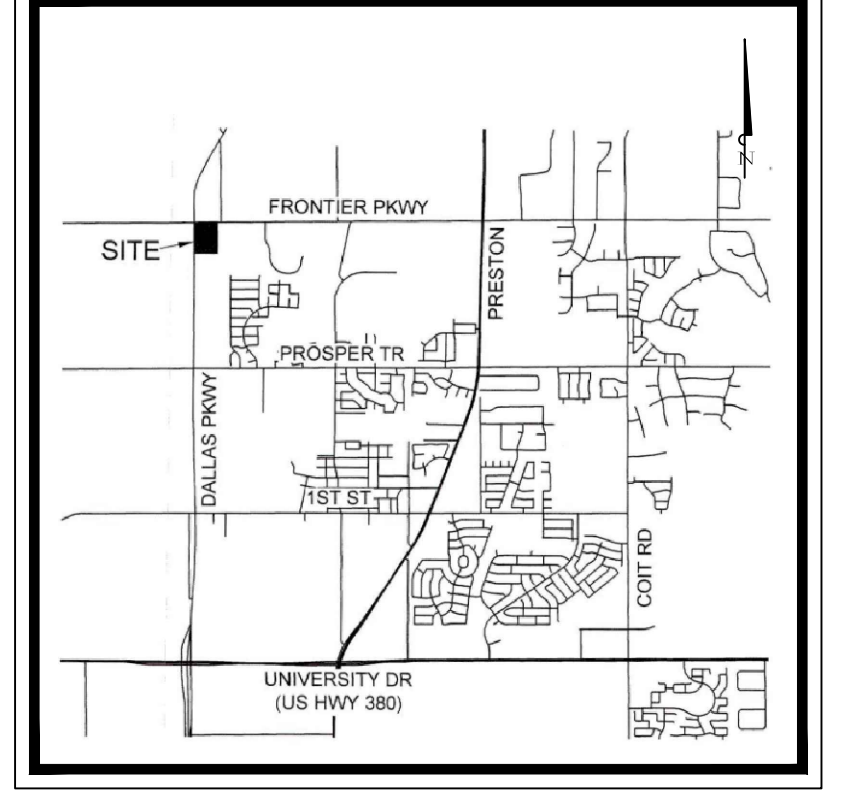
- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.

**FLOODPLAIN NOTE**  
ACCORDING TO MAP NO. 48085C0115J, DATED 06/02/2009 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF COLLIN COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE X1 (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN).

**OPEN SPACE NOTE:**  
7% OF NET LOT AREA IS REQUIRED TO BE PROVIDED AS OPEN SPACE. THE FOLLOWING SHALL NOT BE INCLUDED: VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION PONDS.

TOWN OF PROSPER  
PLANNING DEPARTMENT  
P&Z Conditional Approval  
**06/06/2023**

GRAPHIC SCALE  
1 inch = 50 ft.



DALLAS PARKWAY  
CONCRETE ROADWAY  
VARIABLE WIDTH R.O.W.

COLLIN COUNTY  
VOLUME 5772  
PAGE 2404  
O.P.R.C.C.T.

PLOTTED BY: DAN CABALLERO  
 PLOT DATE: 5/23/2023 10:30 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-029 HEB PROSPER\CADD\SHEETS\MASTER PRELIMINARY PLANS\PSP.DWG  
 LAST SAVED: 5/4/2023 9:51 AM

## MATCH LINE SHEET SP-2

- PRELIMINARY SITE PLAN NOTES:**
- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
  - DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
  - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY TOWN.
  - ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
  - BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
  - OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
  - FIRE LANES SHALL BE DESIGNATED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
  - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
  - SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
  - FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS.
  - THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE.
  - BUILDINGS MORE THAN 30 FEET HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIRE FIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET.
  - THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET.
  - DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
  - FIRE HYDRANTS SHALL BE PROHIBITED AT THE ENTRANCES AND INTERSECTIONS.
  - AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R3, R3-S DEVELOPMENTS SHALL BE EVERY 500 FEET. DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLIES".
  - FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURNING WITH LOCKING CAP.
  - FIRE HYDRANTS SHALL BE LOCATED 2 FOOT TO 6 FOOT BACK FROM THE CURB OF FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC.
  - THERE SHALL BE A MINIMUM OF TWO FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT.
  - A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER.
  - THE MAXIMUM DEAD END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS.
  - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE PRELIMINARY SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
  - FIRE LANES SHALL BE DESIGNATED AND CONSTRUCTED PER TOWN STANDARDS AND BARRIER-FREE RAMP AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
  - ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
  - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ADDITIONAL WITH THE ZONING ORDINANCE.
  - ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
  - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  - THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING AND ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING AND ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
  - SITE WILL BE UNAVAILABLE TO DEVELOP UNTIL A GRAVITY TRUNK MAIN HAS BEEN CONSTRUCTED FOR THE BASIN.
  - THE TOWN CURRENTLY CONTRACTS WITH CWD FOR WASTE DISPOSAL SERVICES. THEY MAY BE CONTACTED AT 972-992-6300.

### SITE DATA SUMMARY

LOT	ZONING	PROPOSED USE	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BUILDING AREA (SQ. FT.)	BLDG HGT. (FT.-# ST.)	LOT COVERAGE	PARKING		HANDICAP SP.		TOTAL IMPERVIOUS (SQ. FT.)	TOTAL PERVIOUS (SQ. FT.)			
								REQ. RATIO	REQ. PROV.	REQ.	PROV.					
1	PD-69	RESTAURANT	1.59	69,433	4,575	29' - 1 STORY	50% MAX 6.6%	1SPACE / 75 SF (REST)	61	61	3	3	21,014	30%	48,419	70%
2	PD-69	RESTAURANT	1.16	50,700	4,575	29' - 1 STORY	50% MAX 9.0%	1SPACE / 75 SF (REST)	61	61	3	4	24,074	47%	26,226	53%
3	PD-69	BANK	1.92	83,484	3,300	29' - 1 STORY	50% MAX 4.0%	1SPACE / 350 SF (BANK)	10	39	2	2	31,653	38%	51,831	62%
4	PD-69	RESTAURANT	1.00	43,560	2,000	29' - 1 STORY	50% MAX 4.6%	1SPACE / 100 SF (REST)	20	20	1	2	2,445	6%	41,115	94%
5	PD-69	RESTAURANT	1.50	65,340	4,365	29' - 1 STORY	50% MAX 6.7%	1SPACE / 100 SF (REST)	44	44	2	2	33,994	52%	31,346	48%
6	PD-69	FUEL STATION/CAR WASH	19.03	829,046	1,082	24' - 1 STORY	50% MAX 0.0%	1SPACE / 250 SF (RETAIL)	433	706	16	24	167,687	20%	661,359	80%

## PD CASE #: D22-0098

**OWNER:**  
DNT FRONTIER, LP  
4303 W LOVERS LANE, SUITE 200  
DALLAS, TX 75209  
PH: 817.201.6982  
CONTACT NAME: DAVID FOGEL

**APPLICANT/ENGINEER:**  
CLAYMOORE ENGINEERING, INC.  
301 S COLEMAN, SUITE 40  
SPROSER, TX 75078  
PH: 817.201.6982  
CONTACT NAME: MATT MOORE

**ARCHITECT:**  
OBRIEN ARCHITECTS  
5800 DEMOCRACY DRIVE, SUITE 200B  
PLANO, TX 75024  
PH: 972.788.1010  
CONTACT NAME:

**LEGAL DESCRIPTION:**  
BEING PART OF 70.91 ACRE TRACT OF LAND SITUATED IN THE COLLIN COUNTY SCHOOL LAND SURVEY, ABSTRACT NO. 147, COLLIN COUNTY, TEXAS ZONING: PLANNED DEVELOPMENT-69 (PD-69)

**CITY:** TOWN OF PROSPER  
**STATE:** TEXAS

**COUNTY:** COLLIN  
**SURVEY:** COLLIN COUNTY SCHOOL  
**ABSTRACT NO.:** 147

DESIGN: MAM  
DRAWN: DC  
CHECKED: MAM  
DATE: 5/23/2023

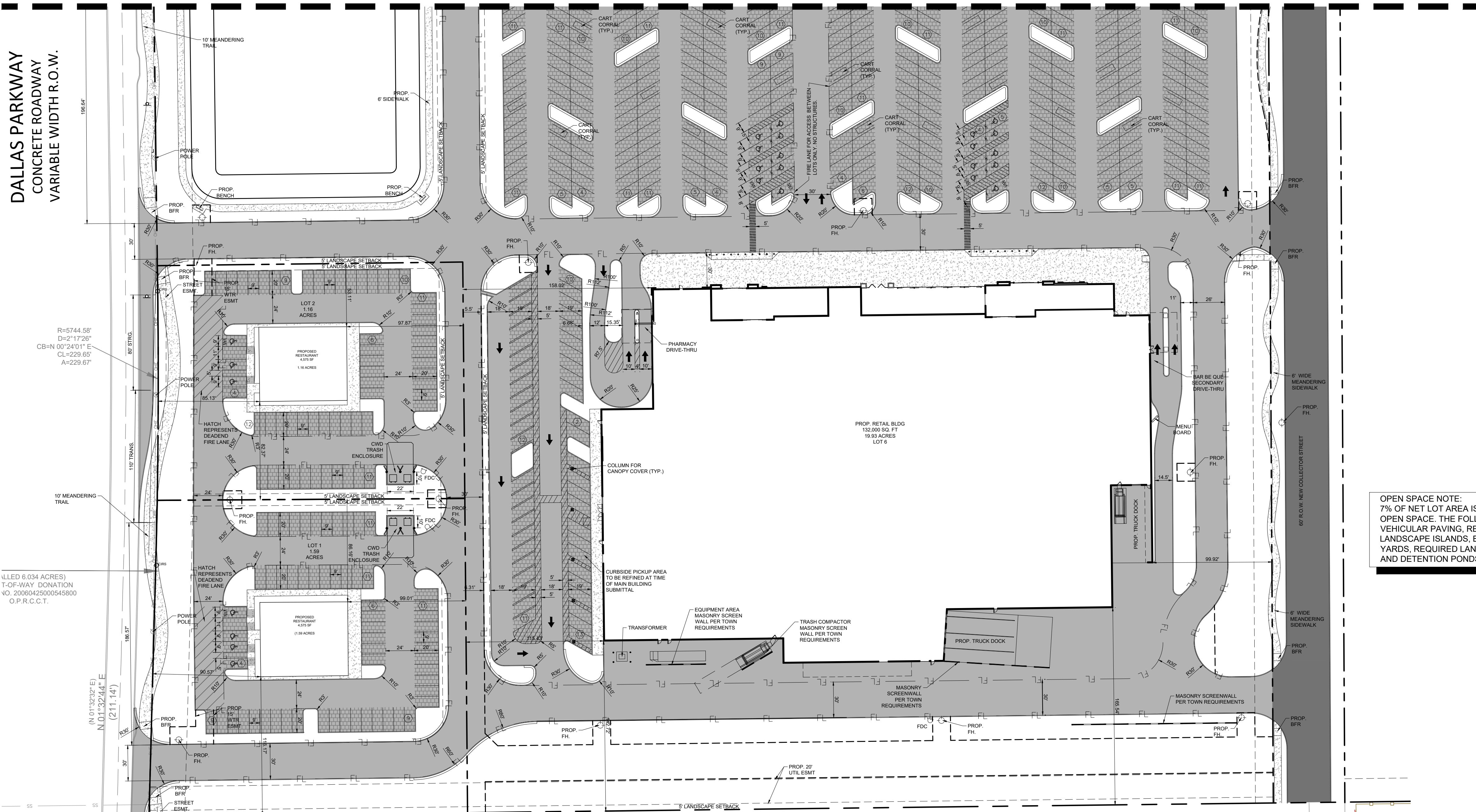
SHEET  
**PSP-1**

CASE NO. 2022-25



MATCH LINE SHEET SP-1

DALLAS PARKWAY  
CONCRETE ROADWAY  
VARIABLE WIDTH R.O.W.

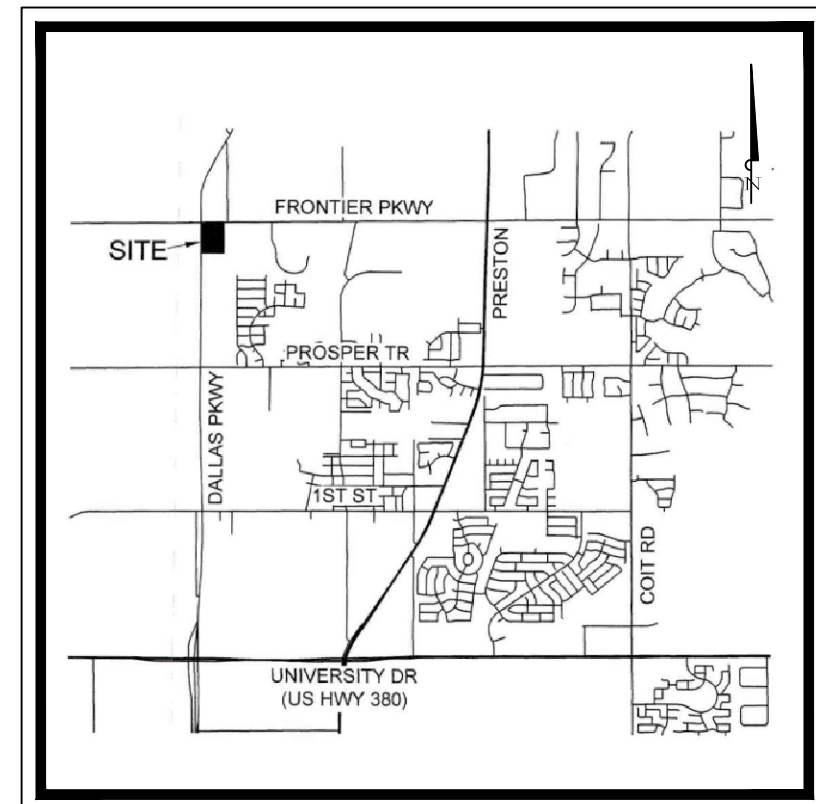
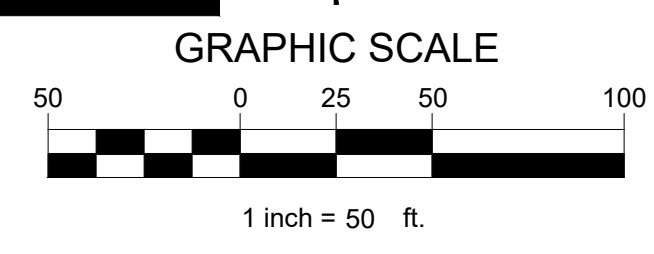
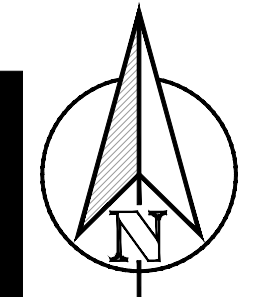


LEGEND	
[Symbol]	STANDARD DUTY CONCRETE PAVEMENT
[Symbol]	HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	R.O.W. COLLECTOR STREET
[Symbol]	DUMPSTER AREA CONCRETE PAVEMENT
[Symbol]	SIDEWALK CONCRETE PAVEMENT
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PARKING COUNT
[Symbol]	FULL-DEPTH SAWCUT
[Symbol]	PROPOSED FIRE LANE STRIPPING

**NOTES:**  
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.  
2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.

**FLOODPLAIN NOTE**  
ACCORDING TO MAP NO. 48085CD115J, DATED 06/02/2009 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF COLLIN COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X". (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN).

**OPEN SPACE NOTE:**  
7% OF NET LOT AREA IS REQUIRED TO BE PROVIDED AS OPEN SPACE. THE FOLLOWING SHALL NOT BE INCLUDED: VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION PONDS.



PLOTTED BY: DAN CABALLERO  
 PLOT DATE: 5/23/2023 10:30 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-029 HEB PROSPER\CADD SHEETS\MASTER PRELIMINARY PLANS\PSP.DWG  
 LAST SAVED: 5/4/2023 9:51 AM

LLED 6.034 ACRES)  
 T.O.F.WAY DONATION  
 NO. 20069425000545800  
 O.P.R.C.C.T.

COLLIN COUNTY  
 VOLUME 5786,  
 PAGE 4659  
 O.P.R.C.C.T.

TREJAX, LP  
 DOC. NO. 20121206001558000  
 O.P.R.C.C.T.

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- SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
- ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
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- SITE WILL BE UNAVAILABLE TO DEVELOP UNTIL A GRAVITY TRUNK MAIN HAS BEEN CONSTRUCTED FOR THE BASIN.
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**SITE DATA SUMMARY**

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							REQ.	PROV.	REQ. RATIO	REQ.	PROV.	REQ.	PROV.				
1	PD-69	RESTAURANT	1.59	69,433	4,575	29'-1 STORY	50% MAX	6.6%	1SPACE / 75 SF (REST)	61	61	3	3	21,014	30%	48,419	70%
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					1,082	24'-1 STORY	50% MAX	0.0%	1SPACE / 250SF (RETAIL)	5	7	1	1				

TEXAS REGISTRATION #14199  
  
 1903 CENTRAL DRIVE, SUITE #406  
 BECKFORD, TX 76021  
 PHONE: 817.201.0072  
 WWW.CLAYMOORE.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING CONSULTANTS  
 Engineer: MATT MOORE  
 P.E. No. 98351L Date 5/23/2023

**FRONTIER RETAIL CENTER**  
 BEING PART OF 70.91 ACRES OF LAND  
 OUT OF COLLIN COUNTY SCHOOL LAND  
 SURVEY, ABSTRACT NO. 147  
 PROSPER, TEXAS

NO.	DATE	REVISION	BY

PRELIMINARY SITE PLAN  
 (2 OF 2)

**PD CASE #: D22-0098**

**OWNER:**  
 DNT FRONTIER, LP  
 4303 W LOVERS LANE, SUITE 200  
 DALLAS, TX 75209  
 PH: 817.201.6982  
 CONTACT NAME: DAVID FOGEL

**APPLICANT/ENGINEER:**  
 CLAYMOORE ENGINEERING, INC.  
 301 S COLEMAN, SUITE 40  
 PROSPER, TX 75078  
 PH: 817.201.6982  
 CONTACT NAME: MATT MOORE

**ARCHITECT:**  
 O'BRIEN ARCHITECTS  
 5800 DEMOCRACY DRIVE, SUITE 200B  
 PLANO, TX 75024  
 PH: 972.788.1010  
 CONTACT NAME:

**LEGAL DESCRIPTION:**  
 BEING PART OF 70.91 ACRE TRACT OF LAND SITUATED IN THE COLLIN COUNTY SCHOOL LAND SURVEY, ABSTRACT NO. 147, COLLIN COUNTY, TEXAS ZONING: PLANNED DEVELOPMENT-69 (PD-69)

**CITY:** TOWN OF PROSPER  
**STATE:** TEXAS

**COUNTY:** COLLIN  
**SURVEY:** COLLIN COUNTY SCHOOL  
**ABSTRACT NO.:** 147

DESIGN: MAM  
 DRAWN: DC  
 CHECKED: MAM  
 DATE: 5/23/2023

SHEET  
**PSP-2**

CASE NO. 2022-26





## PLANNING

**To:** Planning & Zoning Commission

**From:** Jerron Hicks, Planner

**Through:** David Hoover, AICP, Director of Development Services

**Cc:** Suzanne Porter, AICP, Planning Manager

**Re:** Planning & Zoning Commission Meeting – April 23, 2024

---

**Item No. 3f**

**Agenda Item:**

Consider and act upon a request for a Final Plat of Frontier Retail Center, Block A, Lot 6, on 16.9± acres, located on the south side of Frontier Parkway and 250± feet east of Dallas Parkway. (DEVAPP-23-0179)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as Dallas North Tollway District.

**Zoning:**

The property is zoned Planned Development-69 (Retail).

**Conformance:**

The Final Plat conforms to the development standards of Planned Development-69.

**Description of Agenda Item:**

The purpose of this Final Plat is to dedicate easements necessary for the development of a Big Box, gas pumps, kiosk, and a car wash.

**Companion Item:**

As companion items, the Site Plan (DEVAPP-23-0182) and the Façade Plan (DEVAPP-23-0180) are on this Planning & Zoning Commission agenda.

**Attached Documents:**

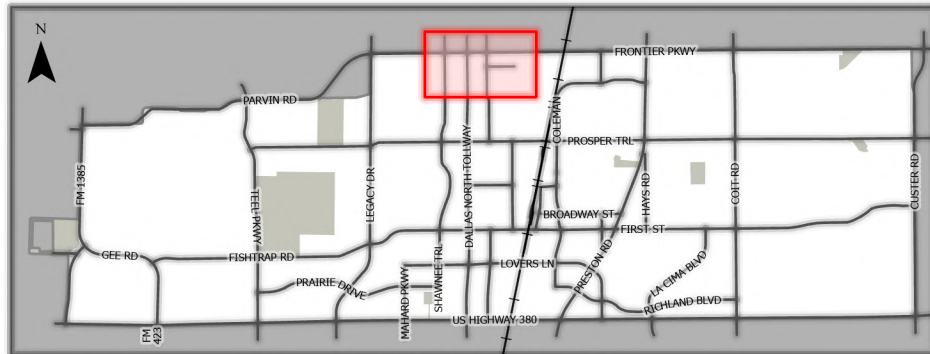
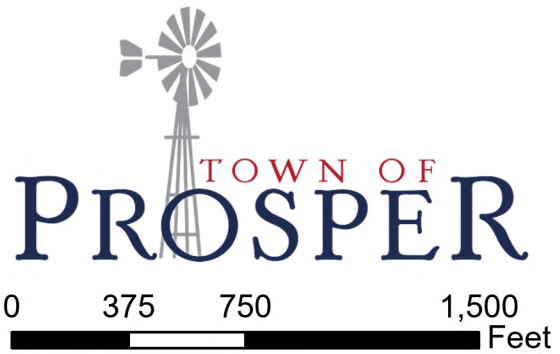
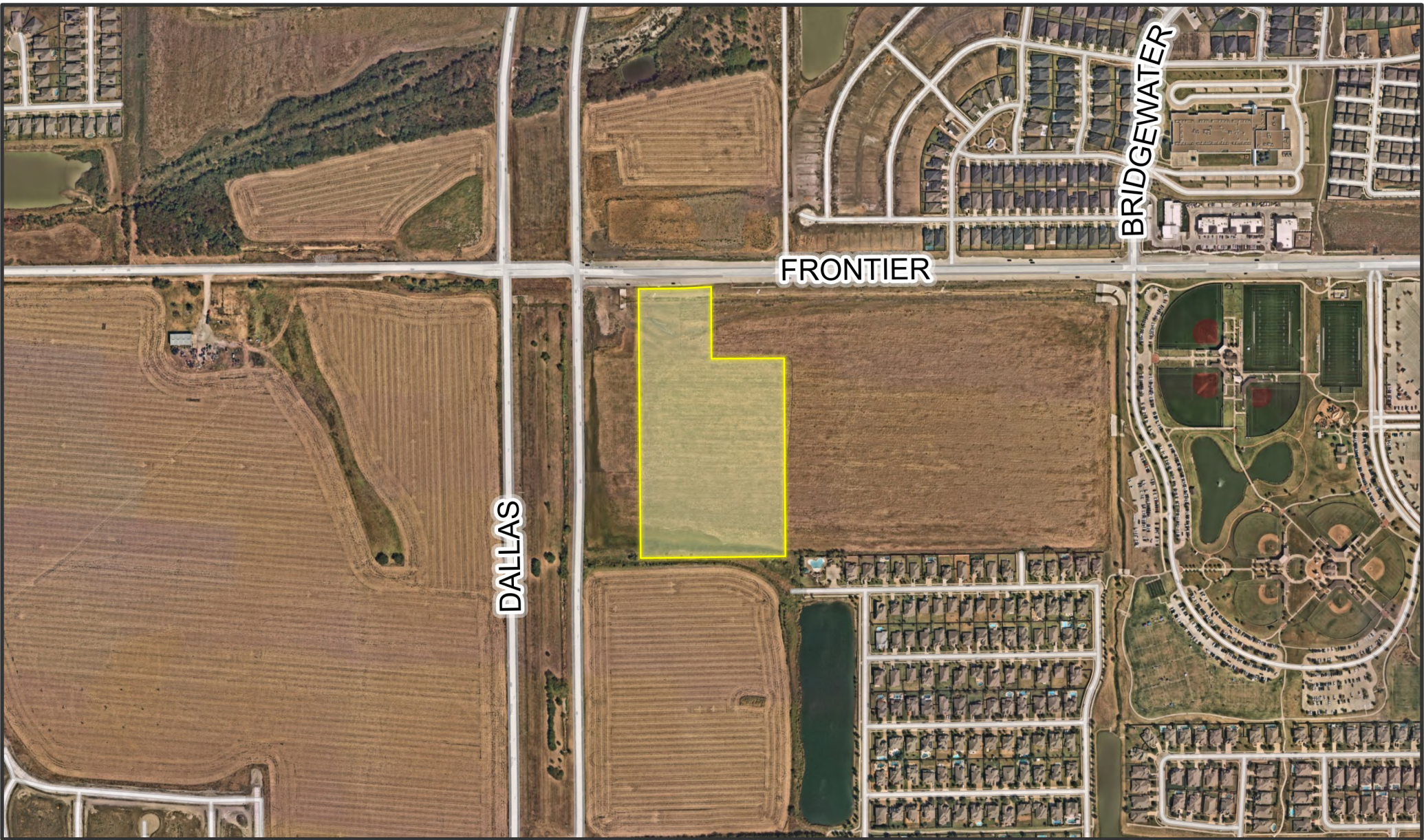
1. Location Map
2. Final Plat

**Town Staff Recommendation:**

Town Staff recommends approval of the Final Plat, subject to:

1. Town Council approval of the Site Plan and Façade Plan, and
2. Approval of all additions and/or alterations to the easements and dedications.





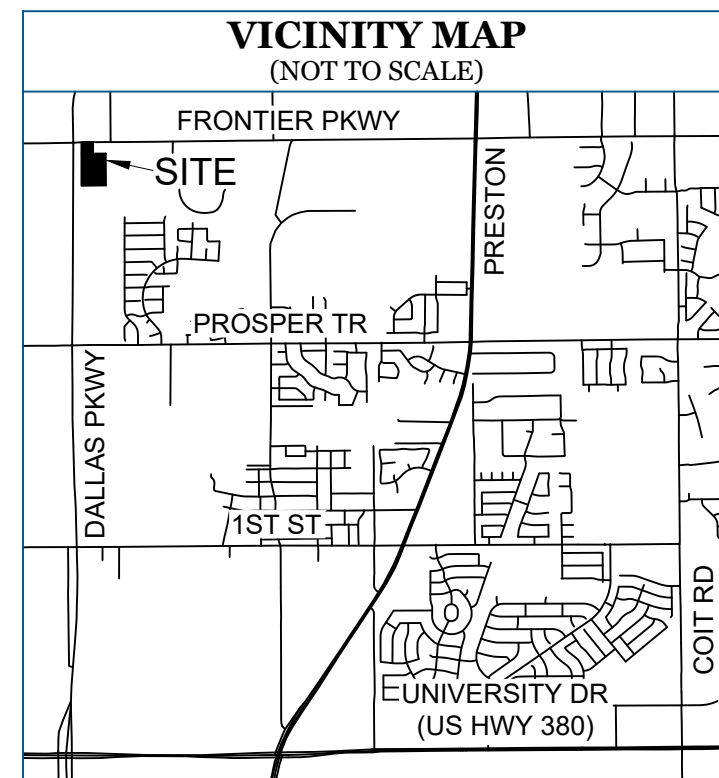
**DEVAPP-23-0179**

Frontier Retail Center

Final Plat

This map for illustration purposes only





LINE	BEARING	DISTANCE
L1	N 44°25'23" E	71.45'
L2	N 89°25'23" E	210.09'
L3	S 89°25'23" W	207.76'
L4	S 86°47'13" W	129.62'
L5	N 00°46'24" W	37.33'
L6	N 89°31'53" E	34.34'
L7	S 00°20'37" E	6.37'
L8	S 45°46'18" E	14.67'
L9	S 89°12'19" W	37.89'
L10	S 00°46'24" W	20.38'
L11	S 89°18'34" W	20.00'
L12	S 70°52'11" W	79.04'
L13	S 00°34'57" E	89.69'
L14	N 00°34'57" W	55.73'
L15	S 00°19'15" E	44.66'
L16	S 89°41'35" W	15.00'
L17	N 00°19'15" W	45.00'
L18	N 00°19'43" W	169.55'
L19	S 89°40'17" W	302.25'
L20	N 00°19'04" E	16.07'
L21	S 00°29'59" E	60.00'
L22	S 89°40'38" W	229.36'
L23	N 00°19'04" E	16.07'
L24	S 00°29'59" E	60.00'
L25	S 89°40'38" W	99.98'
L26	S 89°40'38" W	159.58'
L27	N 00°19'04" E	70.00'
L28	S 89°40'38" W	15.00'
L29	S 89°40'38" W	229.36'
L30	N 00°19'04" E	16.07'
L31	S 00°29'59" E	60.00'
L32	S 89°40'38" W	99.98'
L33	S 89°40'38" W	159.58'
L34	N 00°19'04" E	70.00'
L35	S 89°40'38" W	15.00'
L36	S 89°40'38" W	229.36'
L37	N 00°19'04" E	16.07'
L38	S 00°29'59" E	60.00'
L39	S 89°40'38" W	99.98'
L40	S 89°40'38" W	159.58'
L41	N 00°19'04" E	70.00'
L42	S 89°40'38" W	15.00'
L43	S 89°40'38" W	229.36'
L44	N 00°19'04" E	16.07'
L45	S 00°29'59" E	60.00'
L46	S 89°40'38" W	99.98'
L47	S 89°40'38" W	159.58'
L48	N 00°19'04" E	70.00'
L49	S 89°40'38" W	15.00'
L50	S 89°40'38" W	229.36'
L51	N 00°19'04" E	16.07'
L52	S 00°29'59" E	60.00'
L53	S 89°40'38" W	99.98'
L54	S 89°40'38" W	159.58'
L55	N 00°19'04" E	70.00'
L56	S 89°40'38" W	15.00'
L57	S 89°40'38" W	229.36'
L58	N 00°19'04" E	16.07'
L59	S 00°29'59" E	60.00'
L60	S 89°40'38" W	99.98'
L61	S 89°40'38" W	159.58'
L62	N 00°19'04" E	70.00'
L63	S 89°40'38" W	15.00'
L64	S 89°40'38" W	229.36'
L65	N 00°19'04" E	16.07'
L66	S 00°29'59" E	60.00'
L67	S 89°40'38" W	99.98'
L68	S 89°40'38" W	159.58'
L69	N 00°19'04" E	70.00'
L70	S 89°40'38" W	15.00'
L71	S 89°40'38" W	229.36'
L72	N 00°19'04" E	16.07'
L73	S 00°29'59" E	60.00'
L74	S 89°40'38" W	99.98'
L75	S 89°40'38" W	159.58'
L76	N 00°19'04" E	70.00'
L77	S 89°40'38" W	15.00'
L78	S 89°40'38" W	229.36'
L79	N 00°19'04" E	16.07'
L80	S 00°29'59" E	60.00'
L81	S 89°40'38" W	99.98'
L82	S 89°40'38" W	159.58'
L83	N 00°19'04" E	70.00'
L84	S 89°40'38" W	15.00'
L85	S 89°40'38" W	229.36'
L86	N 00°19'04" E	16.07'
L87	S 00°29'59" E	60.00'
L88	S 89°40'38" W	99.98'
L89	S 89°40'38" W	159.58'
L90	N 00°19'04" E	70.00'
L91	S 89°40'38" W	15.00'
L92	S 89°40'38" W	229.36'
L93	N 00°19'04" E	16.07'
L94	S 00°29'59" E	60.00'
L95	S 89°40'38" W	99.98'
L96	S 89°40'38" W	159.58'
L97	N 00°19'04" E	70.00'
L98	S 89°40'38" W	15.00'
L99	S 89°40'38" W	229.36'
L100	N 00°19'04" E	16.07'

LEGEND	
POB	= POINT OF BEGINNING
POC	= POINT OF COMMENCING
IRF	= IRON ROD FOUND
CIRF	= CAPPED IRON ROD FOUND
DOC. NO.	= DOCUMENT NUMBER
D.R.C.C.T.	= DEED RECORDS, COLLIN COUNTY, TEXAS
P.R.C.C.T.	= PLAT RECORDS, COLLIN COUNTY, TEXAS
O.P.R.C.C.T.	= OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
FLAUE	= FIRE LANE, ACCESS AND UTILITY EASEMENT
F.A.D.U.E.	= FIRE LANE, ACCESS, DRAINAGE AND UTILITY EASEMENT
---	= SUBJECT BOUNDARY LINE
- - -	= EASEMENT

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	31.42'	20.00'	90°00'18"	S 45°19'13" E	28.29'
C3	47.13'	30.00'	90°00'18"	S 45°19'13" E	42.43'
C4	94.25'	30.00'	180°00'00"	N 00°19'22" W	60.00'
C5	31.41'	20.00'	89°59'42"	S 44°40'47" W	28.28'
C6	36.09'	30.00'	68°55'31"	S 34°57'48" E	33.95'
C7	11.13'	30.00'	21°15'19"	S 80°03'13" E	11.07'
C8	31.42'	20.00'	90°00'51"	N 44°18'49" E	28.29'
C9	31.29'	20.00'	89°37'57"	N 45°30'43" W	28.19'
C10	31.54'	20.00'	90°22'03"	S 44°29'17" W	28.37'
C11	31.41'	20.00'	89°59'09"	S 45°41'18" E	28.28'
C12	19.62'	29.99'	37°29'00"	N 71°32'18" E	19.27'
C13	50.74'	20.00'	145°21'24"	S 40°33'23" W	38.19'
C14	30.71'	56.00'	31°25'16"	S 16°24'41" E	30.33'
C15	50.56'	56.00'	51°43'36"	S 25°09'45" E	48.86'
C16	92.98'	30.00'	177°34'22"	S 37°45'38" E	59.99'
C17	19.42'	30.01'	37°04'37"	N 72°39'58" W	19.08'
C18	10.05'	30.00'	19°11'17"	S 79°43'22" W	10.00'
C19	20.09'	60.00'	19°11'17"	S 79°43'22" W	20.00'
C20	16.74'	60.00'	15°59'08"	N 82°41'27" W	16.69'
C21	13.35'	50.00'	15°17'48"	N 82°20'47" W	13.31'
C22	43.35'	60.00'	41°23'54"	N 20°11'54" E	42.42'
C23	47.22'	30.00'	90°10'56"	S 45°35'31" E	42.49'
C24	10.05'	30.00'	19°11'17"	N 79°43'22" E	10.00'
C25	20.09'	60.00'	19°11'17"	N 79°43'22" E	20.00'
C26	47.16'	30.00'	90°04'09"	N 44°18'57" E	42.45'
C27	50.61'	56.00'	51°47'04"	N 25°08'22" E	48.91'
C28	27.08'	30.00'	51°43'36"	N 25°09'45" E	26.17'
C29	16.52'	30.00'	31°33'28"	N 16°21'17" W	16.32'
C30	22.84'	46.00'	28°26'50"	N 17°53'28" W	22.61'
C31	45.56'	30.00'	87°00'50"	N 47°10'28" W	41.31'
C32	22.26'	60.00'	21°15'19"	N 80°03'13" W	22.13'
C33	58.16'	30.00'	111°04'29"	S 55°02'12" W	49.47'

**GENERAL NOTES**

- FLOOD NOTE: This property is located in **Non-Shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated June 2, 2009 and is located in Community Number 480130 as shown on Map Number 48085C0115J. The location of the Flood Zone is approximate. For additional information regarding Flood Zone designation, please contact 1-(877) FEMA MAP.
- Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- All interior property corners are marked with a 1/2" iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- The purpose of this plat is to final plat 1 lot of record for site development.
- The bearings shown on this survey are based on GPS observations utilizing the Allterra RTK Network, North American Datum of 1983 (Adjustment Realization 2011), Texas North Central Zone 4202.
- Except as shown on this plat, the landscape easement(s) shall be exclusive of other easements.

SURVEYOR	ENGINEER	OWNER
Eagle Surveying, LLC Contact: Brad Eubanks 522 S. Elm Street, Suite 200 Denton, TX 76201 (940) 222-3009	Claymore Engineering Contact: Clay Cristy, PE 301 S. Coleman, Suite 40 Prosper, Texas 75078 (817) 281-0572	H-E-B, LP Contact: Benjamin R. Scott 646 S. Flores Street San Antonio, TX 78204 (210) 938-8000

**CERTIFICATE OF SURVEYOR**

STATE OF TEXAS §  
COUNTY OF DENTON §

I, MATTHEW RAABE, Registered Professional Land Surveyor, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**PRELIMINARY**  
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

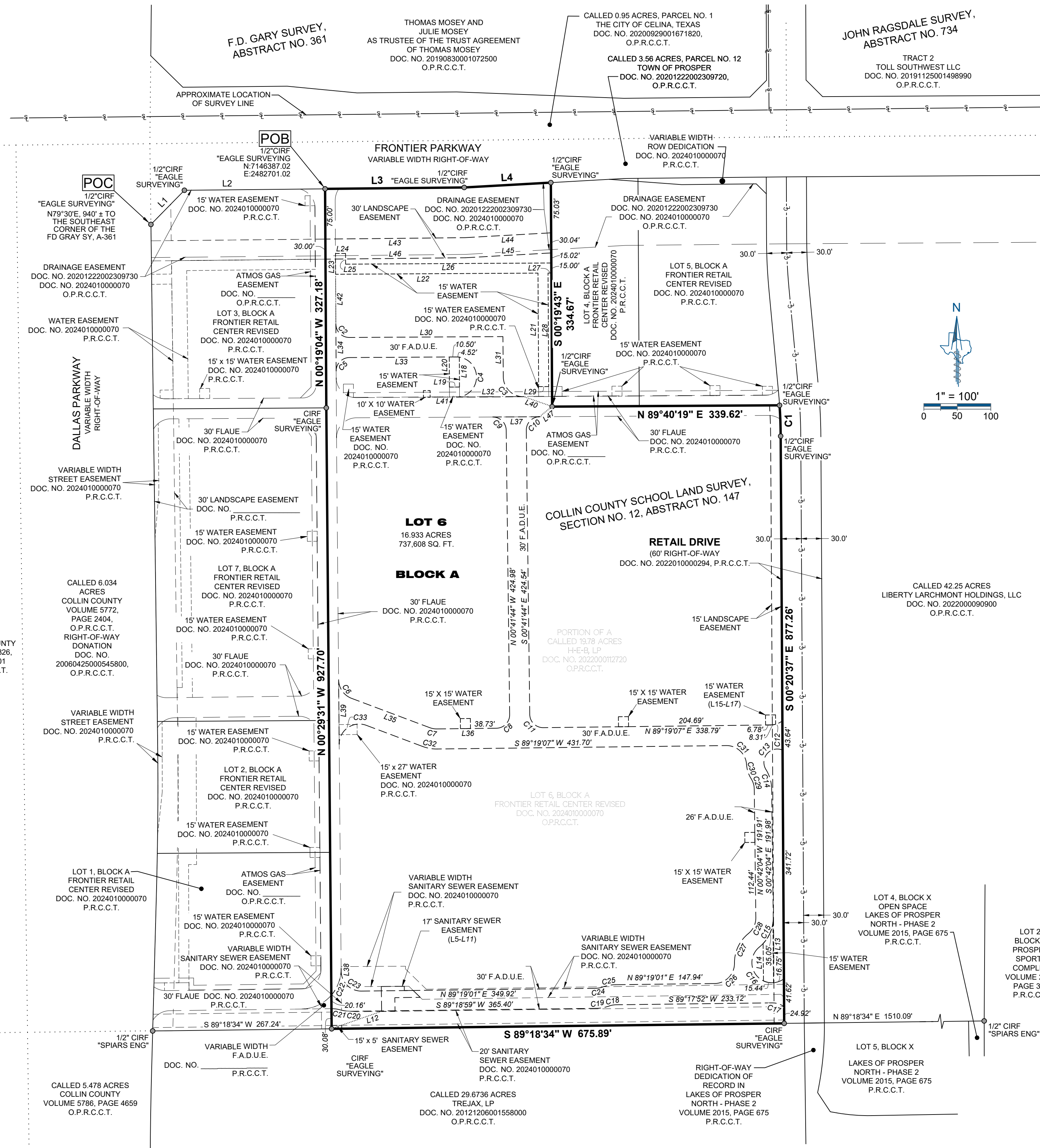
Matthew Raabe, R.P.L.S. # 6402

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for the State of Texas



STATE OF TEXAS §  
COUNTY OF COLLIN §

**OWNERS CERTIFICATE**

WHEREAS, H-E-B, LP is the owner of a 16.933 acre tract of land out of the Collin County School Land Survey, Section No. 12, Abstract No. 147, situated in the Town of Prosper, Collin County, Texas, being all of Block A, Lot 6, Frontier Retail Center Revised, a subdivision of record in Document Number 2024010000070, of the Plat Records of Collin County, Texas, being a portion of a called 19.78 acre tract of land conveyed to H-E-B, LP by deed of record in Document No. 2022000112720, of the Official Public Records of Collin County, Texas, and being more particularly described by metes and bounds as follows:

**COMMENCING**, at a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" found at the South end of a corner clip at the intersection of the East right-of-way line of Dallas Parkway (a variable width right-of-way) and the South right-of-way line of Frontier Parkway (County Road No. 5, a variable width right-of-way), being the most Westerly Northwest corner of Lot 3, Block A, of said Frontier Retail Center Revised;

**THENCE**, along the South right-of-way line of Frontier Parkway, being the common North line of said Frontier Retail Center Revised, the following five (5) courses and distances:

- N44°25'23"E, a distance of 71.45 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" found at the North end of said corner clip;
- N89°25'23"E, a distance of 210.09 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" found at Northeast corner of said Lot 3 and the Northwest corner of said Lot 6, for the **POINT OF BEGINNING**;
- N89°25'23"E, a distance of 207.76 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" found;
- N86°47'13"E, a distance of 129.62 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" found at the Northwest corner of Lot 4, Block A, of said Frontier Retail Center Revised and the most northerly Northeast corner of said Lot 6;
- THENCE, S00°19'43"E, along the West line of said Lot 4, being the common East line of said Lot 6, a distance of 334.67 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" found;

**THENCE**, N89°40'19"E, along the South line of said Lot 4, in part, being the common North line of said Lot 6, a distance of 339.62 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" found in the West right-of-way line of Retail Drive (a 60' right-of-way), at the Southeast corner of Lot 5, Block A, of said Frontier Retail Center Revised and the most easterly Northeast corner of said Lot 6, at the beginning of a non-tangent curve to the right;

**THENCE**, along the West right-of-way line of said Retail Drive, being the common East line of said Lot 6, the following two (2) courses and distances:

- Along said non-tangent curve to the right, having a radius of 770.00 feet, a chord bearing of S02°03'34"E, a chord length of 46.11 feet, a delta angle of 03°25'55", an arc length of 46.12 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" found;
- S00°20'37"E, a distance of 877.26 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" found in the North line of a called 29.6736 acre tract of land conveyed to TREJAX, LP by deed of record in Document No. 20121206001558000 of said Official Public Records, from which a 1/2 inch iron rod with yellow plastic cap stamped "SPIARS ENG" found at the Northeast corner of Lot 4, Block X of Lakes of Prosper North - Phase 2, a subdivision of record in Volume 2015, Page 675 of said Plat Records and the Southeast corner of a called 42.25 acre tract of land conveyed to Liberty Larchmont Holdings, LLC by deed of record in Document Number 2022000090900, of said Official Public Records, bears N89°18'34"E, a distance of 1,510.09 feet;
- THENCE, S89°18'34"W, along the North line of said 29.6736 acre tract, being the common South line of said Lot 6, a distance of 675.89 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" found at the Southeast corner of Lot 1, Block A, of said Frontier Retail Center Revised and the Southwest corner of said Lot 6, from which a 1/2" iron rod with yellow plastic cap stamped "SPIARS ENG" found in the East right-of-way line of said Dallas Parkway, being the Northwest corner of said 29.6736 acre tract and the Southwest corner of said Lot 1, bears S89°18'34"W a distance of 267.24 feet;
- THENCE, N00°29'31"W, along the East line of said Lot 1, in part, being the common West line of said Lot 6, a distance of 927.70 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" found at the Northeast corner of Lot 7, Block A of said Frontier Retail Center Revised and the Southeast corner of said Lot 3;
- THENCE, N00°19'04"W, along the East line of said Lot 3, being the common West line of said Lot 6, a distance of 327.18 feet to the **POINT OF BEGINNING** and containing an area of 16.933 Acres, or (73768 Square Feet) of land, more or less.

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

THAT H-E-B, LP, does hereby certify and adopt this conveyance plat designating the herein described property as **FRONTIER RETAIL CENTER, BLOCK A, LOT 6**, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown hereon, **H-E-B, LP**, does hereby certify the following:

- The streets and alleys are dedicated for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debt, liens and/or monetary encumbrances.
- The easements and public use area, as shown are dedicated for the public use forever for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape easements may be placed in landscape easements in approved by the Town of Prosper. Notwithstanding the foregoing, the Owners of the property hereby reserve the right to use and enjoy the surface of all easements dedicated hereby for all purposes that do not interfere with the use of such easements by the Town of Prosper and public utilities, including but not limited to placing surface materials over and across said easement and to use the same for parking areas, driveways, walkways, sidewalks, landscaping, lighting, and/or signage ("Permitted Encroachments").
- The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the user to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
- Except for Permitted Encroachments, the Town of Prosper and public utilities shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The Town of Prosper and public utilities shall, at all times, have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means and approved by the Town of Prosper.
- This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called "Town") subject to the following conditions which shall be binding upon the public and Owners, their heirs, grantees, successors and assigns: (a) FLAUE may be utilized by any person or the general public for ingress and egress to other real property, and for the purpose of general public vehicular and pedestrian use and access, and for the Fire Department, Police, and emergency use in along, upon, and across the FLAUE, with the right and privilege at all times of the Town of Prosper, its agents, employees, workmen, and representatives having ingress, egress, and regress in, along, upon, and across said FLAUE; and (b) The Owners covenant and agree that they shall construct upon the FLAUE, as dedicated and shown hereon, a hard surface paved in accordance with Town standards and that they shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to Town standards of the fire lane portions of the FLAUE is the responsibility of the owner upon which the fire lane is located, and each such owner shall post and maintain signage in accordance with Town standards in conspicuous places along the fire lanes, stating "Fire Lane, No Parking". The police or their duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

WITNESS, MY HAND, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

OWNER: **H-E-B, LP** a Texas limited partnership

BY: Benjamin R. Scott  
Group Vice President of Real Estate and Shopping Center Development

STATE OF TEXAS §  
COUNTY OF BEAR §

BEFORE ME, the undersigned authority, on this day personally appeared **BENJAMIN R. SCOTT**, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for the State of Texas

APPROVED on this the \_\_\_\_\_ day of \_\_\_\_\_, 2024,  
by the **PLANNING & ZONING COMMISSION** of the Town of Prosper, Texas.

Town Secretary

Engineering Department

Development Services Department

**FINAL PLAT**  
**FRONTIER RETAIL CENTER**  
**BLOCK A, LOT 6**

16.933 ACRES  
BEING ALL OF LOT 6, BLOCK A, FRONTIER RETAIL CENTER REVISED  
RECORDED IN 2024010000070, O.P.R.C.C.T., SITUATED IN THE  
COLLIN COUNTY SCHOOL LAND SURVEY, SECTION NO. 12, ABSTRACT NO. 147,  
AN ADDITION TO THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS  
PREPARATION DATE: APRIL 16, 2024





## PLANNING

**To:** Planning & Zoning Commission

**From:** Jerron Hicks, Planner

**Through:** David Hoover, AICP, Director of Development Services

**Cc:** Suzanne Porter, AICP, Planning Manager

**Re:** Planning & Zoning Commission Meeting – April 23, 2024

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**Item No. 3g**

**Agenda Item:**

Consider and act upon a request for a Façade Plan for a Big Box, Gas Pumps with Kiosk, and a Car Wash, on Frontier Retail Center, Block A, Lot 6, on 16.9± acres, located on the south side of Frontier Parkway and 250± feet east of Dallas Parkway. (DEVAPP-23-0180)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as the Dallas North Tollway District.

**Zoning:**

The property is zoned Planned Development-69 (Retail).

**Conformance:**

The Façade Plan conforms to the development standards of Planned Development-69 and the Development Agreement approved on May 27, 2021. Per Planned Development-69, the Façade Plan must be approved by Town Council.

**Description of Agenda Item:**

The Façade Plan is for a big box, gas pumps, kiosk, and a car wash.

**Companion Item:**

As companion items, the Site Plan (DEVAPP-23-0182) and the Final Plat (DEVAPP-23-0179) are on this Planning & Zoning Commission agenda.

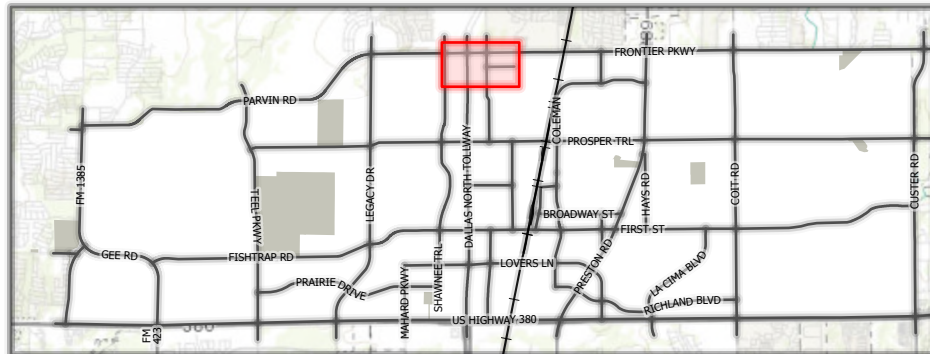
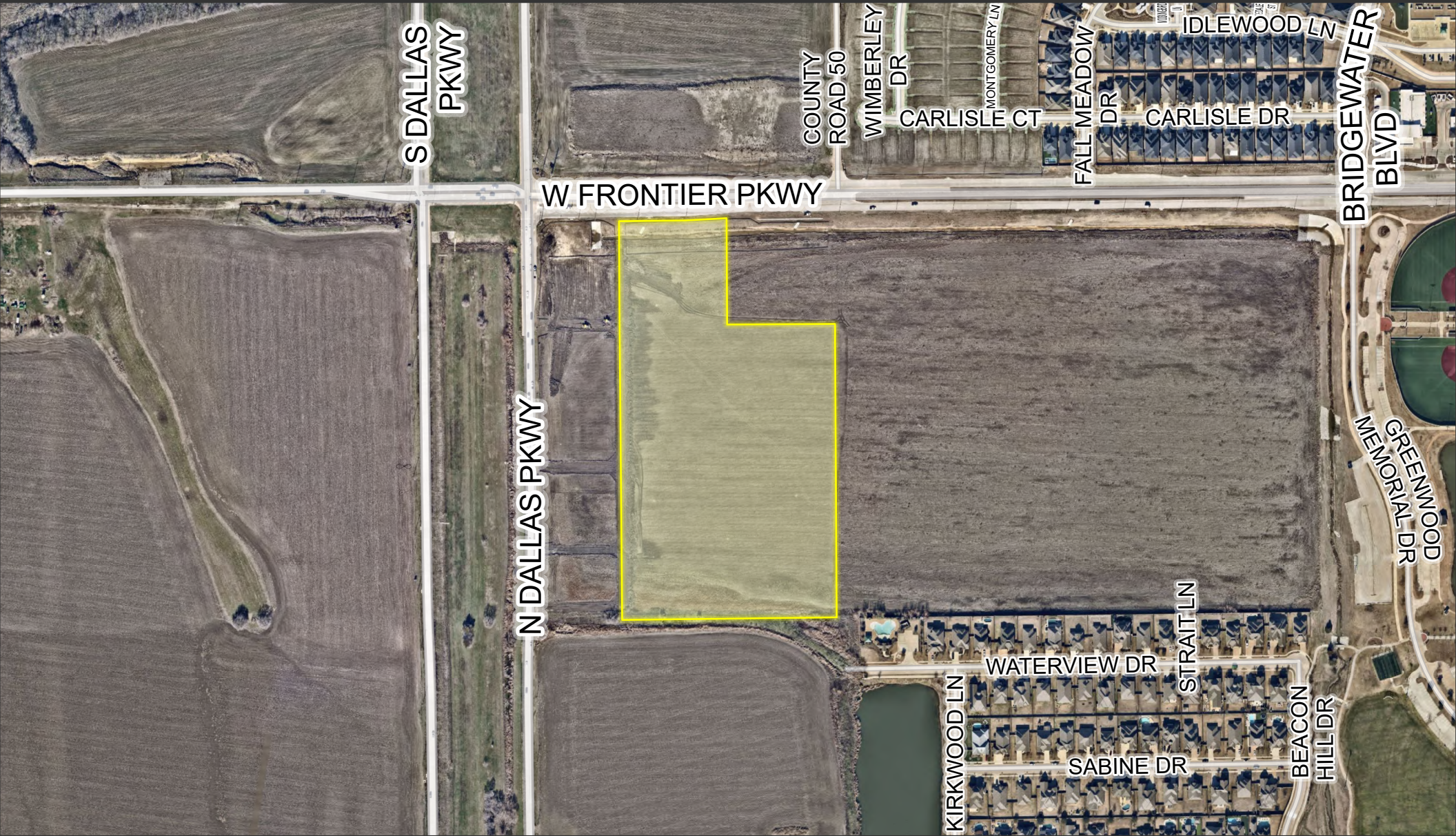
**Attachments:**

1. Location Map
2. Façade Plan
3. Development Agreement

**Town Staff Recommendation:**

Town Staff recommends approval of the Façade Plan.





This map for illustration purposes only

**DEVAPP-23-0180**

HEB Prosper Store

Facade Plan











































**DEVELOPMENT AGREEMENT**

**THIS DEVELOPMENT AGREEMENT** (“Agreement”) is entered into by and between the Town of Prosper, Texas (“Town”), and Metten Real Estate, L.P., a Texas Limited Partnership (“Owner”) (individually, a “Party” and collectively, the “Parties”) to be effective (the “Effective Date”) on the latest date executed by a Party.

**WHEREAS**, the Town is a home-rule municipal corporation, located in Collin County and Denton County, Texas, organized and existing under the laws of the State of Texas; and

**WHEREAS**, Owner is developing an approximate 74.3-acre tract in the Town (the “Property”), a legal description of which is attached hereto as Exhibit A and incorporated by reference; and

**WHEREAS**, a portion of the foregoing Property (identified as Tract 2) was rezoned by the Town Council on or about April 27, 2021, and this Agreement seeks to incorporate, in part, the negotiated and agreed upon development standards contained in the underlying zoning ordinance, as may be amended, and/or this Development Agreement, to recognize Owner’s reasonable investment-backed expectations in the Development, as may be amended, and as more fully described herein; and

**WHEREAS**, subject to the terms of this Agreement, Owner agrees and acknowledges that it will construct on the Property structures in accordance with the provisions and standards reflected in this Agreement; and

**WHEREAS**, subject to the terms of this Agreement, Owner further agrees and acknowledges that it will not lease, sell or otherwise permit or authorize on the Property any business enterprises engaging in those businesses referenced in Section 2 below.

**NOW, THEREFORE**, in consideration of the foregoing premises, and for other good and valuable consideration the receipt and adequacy of which are hereby acknowledged, the Parties to this Agreement agree as follows:

**1. Development Standards.** For any structure built on the Property following the Effective Date, it shall comply with the applicable requirements contained in Exhibit B, “Architectural Standards and Building Materials,” attached hereto and incorporated herein. The Parties agree and acknowledge that the provisions of this Paragraph shall apply to any structure constructed subsequent to the execution of this Agreement. Nothing in this Agreement shall be deemed to modify or otherwise amend any zoning regulation duly adopted by the Town, previously or in the future.

**2. Certain Business Establishments Prohibited.** Owner agrees and acknowledges that it will not lease, sell or otherwise permit or authorize on the Property any of the following business establishments: (1) credit access businesses, as defined in Texas Finance Code § 393.601, as amended, including but not limited to payday lending



businesses, "cash for title" lenders, and credit services businesses, as defined in Texas Finance Code § 393.001, as amended); (2) body art facilities; (3) smoke or vape shops; (4) any business entity that sells drug paraphernalia; (5) any business establishment offering gaming or slot machines; (6) sex shops, including but not limited to business entities whose primary purpose is the sale of lewd merchandise; (7) pawn shops; and (8) business entities which primarily utilize outdoor storage or displays. Additionally, as to Tract 2 of the Property (legally described on Exhibit A attached hereto), Owner agrees and acknowledges that it will not lease, sell or otherwise permit or authorize on the Property a package liquor store, which for purposes of this Agreement is defined as any business entity that is required to obtain a Package Store Permit (P) from the Texas Alcoholic Beverage Commission for the off-premises consumption of alcohol. Nothing in this Agreement shall be deemed to modify or otherwise amend any zoning regulation duly adopted by the Town, previously or in the future.

**3. Cross Access Right-of-Way in Lakes of Prosper North; Fences.** The Parties agree and acknowledge that there exists public right-of-way extending from Waterview Drive in the Lakes of Prosper North to Tract 2 of the Property and since no cross access will be allowed from the Lakes of Prosper North to the Property, Owner has agreed to assist the Lakes of Prosper North Homeowners Association, or other responsible/affected parties, make application with the Town for the abandonment of said right-of-way, and pay the costs associated with such abandonment. Further, Owner shall endeavor to maintain an eight foot (8') fence, board-on-board, with a cap, on the north side of the Lakes of Prosper North subdivision.

**4. Covenant Running with the Land.** The terms, conditions, rights, obligations, benefits, covenants and restrictions of the provisions of this Agreement shall be deemed covenants running with the land, and shall be binding upon and inure to the benefit of the Owner and its heirs, representatives, successors and assigns. This Agreement shall be deemed to be incorporated into each deed and conveyance of the Property or any portion thereof hereafter made by any other owners of the Property, regardless of whether this Agreement is expressly referenced therein.

**5. Applicability of Town Ordinances.** Owner shall develop the Property, and construct all structures on the Property, in accordance with all applicable Town ordinances and building/construction codes.

**6. Default.** No Party shall be in default under this Agreement until notice of the alleged failure of such Party to perform has been given (which notice shall set forth in reasonable detail the nature of the alleged failure) and until such Party has been given a reasonable time to cure the alleged failure (such reasonable time determined based on the nature of the alleged failure, but in no event less than thirty (30) days after written notice of the alleged failure has been given). In addition, no Party shall be in default under this Agreement if, within the applicable cure period, the Party to whom the notice was given begins performance and thereafter diligently and continuously pursues performance until the alleged failure has been cured. If either Party is in default under this Agreement, the other Party shall have the right to enforce the Agreement in



accordance with applicable law, provided, however, in no event shall any Party be liable for consequential or punitive damages.

**7. Venue.** This Agreement shall be governed by and construed in accordance with the laws of the State of Texas, and all obligations of the parties created hereunder are performable in Collin County, Texas. Exclusive venue for any action arising under this Agreement shall lie in Collin County, Texas.

**8. Notice.** Any notices required or permitted to be given hereunder (each, a "Notice") shall be given by certified or registered mail, return receipt requested, to the addresses set forth below or to such other single address as either party hereto shall notify the other:

If to the Town:           The Town of Prosper  
                                  250 W. First Street  
                                  P.O. Box 307  
                                  Prosper, Texas 75078  
                                  Attention: Town Manager

If to Owner:             Metten Real Estate, L.P.  
                                  4872 Nashwood Lane  
                                  Dallas, Texas 75244  
                                  Attention: Christian Metten

**9. Prevailing Party.** In the event any person initiates or defends any legal action or proceeding to enforce or interpret any of the terms of this Agreement, the prevailing party in any such action or proceeding shall be entitled to recover its reasonable costs and attorney's fees (including its reasonable costs and attorney's fees on any appeal).

**10. Entire Agreement.** This Agreement contains the entire agreement between the Parties hereto with respect to development of the Property and supersedes all prior agreements, oral or written, with respect to the subject matter hereof. The provisions of this Agreement shall be construed as a whole and not strictly for or against any Party.

**11. Waiver of Texas Government Code § 3000.001 et seq.** With respect to any and all Structures to be constructed on the Property pursuant to this Agreement, Owner hereby waives any right, requirement or enforcement of Texas Government Code §§ 3000.001-3000.005, as amended.

**12. Time.** Time is of the essence in the performance by the Parties of their respective obligations under this Agreement.



13. **Third-Party Beneficiaries.** Nothing in this Agreement shall be construed to create any right in any Third-Party not a signatory to this Agreement, and the Parties do not intend to create any third-party beneficiaries by entering into this Agreement.

14. **Rough Proportionality.** Owner hereby agrees that any land or property donated and/or dedicated pursuant to this Agreement, whether in fee simple or otherwise, to the Town relative to any development on the Property is roughly proportional to the need for such land and Owner hereby waives any claim therefor that it may have. Owner further acknowledges and agrees that all prerequisites to such a determination of rough proportionality have been met, and that any costs incurred relative to said donation are related both in nature and extent to the impact of the development referenced herein. Both Owner and the Town further agree to waive and release all claims one may have against the other related to any and all rough proportionality and individual determination requirements mandated by the United States Supreme Court in *Dolan v. City of Tigard*, 512 U.S. 374 (1994), and its progeny, as well as any other requirements of a nexus between development conditions and the provision of roadway services to the Property.

15. **Exactions/Infrastructure Costs.** Owner has been represented by legal counsel in the negotiation of this Agreement and been advised or has had the opportunity to have legal counsel review this Agreement and advise Owner, regarding Owner's rights under Texas and federal law. Owner hereby waives any requirement that the Town retain a professional engineer, licensed pursuant to Chapter 1001 of the Texas Occupations Code, to review and determine that the exactions required by the Town are roughly proportional or roughly proportionate to the proposed development's anticipated impact. Owner specifically reserves its right to appeal the apportionment of municipal infrastructure costs in accordance with § 212.904 of the Texas Local Government Code; however, notwithstanding the foregoing, Owner hereby releases the Town from any and all liability under § 212.904 of the Texas Local Government Code, as amended, regarding or related to the cost of those municipal infrastructure requirements imposed by this Agreement.

16. **Savings/Severability.** In the event any provision of this Agreement shall be determined by any court of competent jurisdiction to be invalid or unenforceable, the Agreement shall, to the extent reasonably possible, remain in force as to the balance of its provisions as if such invalid provision were not a part hereof.

17. **Binding Agreement.** A telecopied facsimile of a duly executed counterpart of this Agreement shall be sufficient to evidence the binding agreement of each party to the terms herein, including without limitation a scanned copy sent via electronic mail by either Party.

18. **Authority to Execute.** This Agreement shall become a binding obligation on the Parties upon execution by all Parties hereto. The Town warrants and represents that the individual executing this Agreement on behalf of the Town has full authority to execute this Agreement and bind the Town to the same. Owner warrants and represents



that the individual executing this Agreement on behalf of Owner has full authority to execute this Agreement and bind Owner to the same. The Town Council hereby authorizes the Town Manager of the Town to execute this Agreement on behalf of the Town.

**19. Filing in Deed Records.** This Agreement, and any and all subsequent amendments to this Agreement, shall be filed in the deed records of Collin County, Texas.

**20. Mediation.** In the event of any disagreement or conflict concerning the interpretation of this Agreement, and such disagreement cannot be resolved by the signatories hereto, the signatories agree to submit such disagreement to nonbinding mediation.

**21. Notification of Sale or Transfer; Assignment of Agreement.** Owner has the right (from time to time without the consent of the Town, but upon written notice to the Town) to assign this Agreement, in whole or in part, and including any obligation, right, title, or interest of Owner under this Agreement, to any person or entity (an "Assignee") that is or will become an owner of any portion of the Property or that is an entity that is controlled by or under common control with Owner. Each assignment shall be in writing executed by Owner and the Assignee and shall obligate the Assignee to be bound by this Agreement. A copy of each assignment shall be provided to the Town within ten (10) business days after execution. Provided that the successor owner assumes the liabilities, responsibilities, and obligations of the assignor under this Agreement, the assigning party will be released from any rights and obligations under this Agreement as to the Property that is the subject of such assignment, effective upon receipt of the assignment by the Town. No assignment by Owner shall release Owner from any liability that resulted from an act or omission by Owner that occurred prior to the effective date of the assignment. Owner shall maintain true and correct copies of all assignments made by Owner to Assignees, including a copy of each executed assignment and the Assignee's Notice information.

**22. Sovereign Immunity.** The Parties agree that the Town has not waived its sovereign immunity from suit by entering into and performing its obligations under this Agreement.

**23. Effect of Recitals.** The recitals contained in this Agreement: (a) are true and correct as of the Effective Date; (b) form the basis upon which the Parties negotiated and entered into this Agreement; (c) are legislative findings of the Town Council; and (d) reflect the final intent of the Parties with regard to the subject matter of this Agreement. In the event it becomes necessary to interpret any provision of this Agreement, the intent of the Parties, as evidenced by the recitals, shall be taken into consideration and, to the maximum extent possible, given full effect. The Parties have relied upon the recitals as part of the consideration for entering into this Agreement and, but for the intent of the Parties reflected by the recitals, would not have entered into this Agreement.



24. **Consideration.** This Agreement is executed by the parties hereto without coercion or duress and for substantial consideration, the sufficiency of which is forever confessed.

25. **Counterparts.** This Agreement may be executed in a number of identical counterparts, each of which shall be deemed an original for all purposes. A facsimile signature will also be deemed to constitute an original.

26. **Amendment.** This Agreement shall not be modified or amended except in writing signed by the Parties. A copy of each amendment to this Agreement, when fully executed and recorded, shall be provided to each Party, Assignee and successor owner of all or any part of the Property; however, the failure to provide such copies shall not affect the validity of any amendment.

27. **Miscellaneous Drafting Provisions.** This Agreement shall be deemed drafted equally by all Parties hereto. The language of all parts of this Agreement shall be construed as a whole according to its fair meaning, and any presumption or principle that the language herein is to be construed against any Party shall not apply.

**IN WITNESS WHEREOF**, the parties hereto have caused this document to be executed as of the date referenced herein.

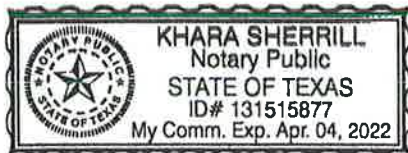
**TOWN:**

**THE TOWN OF PROSPER, TEXAS**

By: [Signature]  
Name: Harlan Jefferson  
Title: Town Manager, Town of Prosper

STATE OF TEXAS        )  
  )  
COUNTY OF COLLIN    )

This instrument was acknowledged before me on the 27<sup>th</sup> day of May, 2021, by Harlan Jefferson, Town Manager of the Town of Prosper, Texas, on behalf of the Town of Prosper, Texas.



[Signature]  
Notary Public, State of Texas  
My Commission Expires: 4-4-2022



OWNER:

METTEN REAL ESTATE, L.P.

By: Metten Properties, Inc., a Texas Corporation, General Partner

By: C.T. Metten  
Name: Christian T. Metten  
Title: Managing Partner

STATE OF TEXAS        )  
                                  )  
                                  )  
COUNTY OF Dallas    )  
                                  )  
                                  )  
COUNTY OF COLLIN    )

This instrument was acknowledged before me on the 20 day of May, 2021, by Christian Metten in his capacity as Managing Partner of Metten Properties, known to be the person whose name is subscribed to the foregoing instrument, and that he executed the same on behalf of and as the act of Owner.

Holly Robertson  
Notary Public, State of Texas  
My Commission Expires: 7/10/21





**EXHIBIT A**

**(Property Description)**







**EXHIBIT A-1**

**(Eastern Portion of Tract 2 of the Property)**



## EXHIBIT B

### ARCHITECTURAL STANDARDS AND BUILDING MATERIALS

- A. All exterior facades for a main building or structure, excluding glass windows and doors, shall be constructed of one hundred (100%) percent masonry. Masonry Construction constitutes clay fired brick, natural and manufactured stone, granite, and marble as exterior construction materials for all structures. Other permitted exterior construction materials for big box, institutional, and industrial structures are architectural concrete block, tilt wall concrete panels, sealed and painted split faced concrete block, and high impact exterior insulation and finish systems (EIFS). Stucco and High impact EIFS is only permitted when installed a minimum of nine feet (9') above grade at the base of the wall on which it is installed.
- B. Secondary materials used on the façade of a building are those that comprise a total of ten percent (10%) or less of an elevation area. Permitted secondary materials are all primary materials, aluminum or other metal, cedar or similar quality decorative wood, stucco and high impact exterior insulation and finish systems (EIFS).
- C. No single material shall exceed eighty percent (80%) of an elevation area. A minimum of twenty percent (20%) of the front façade and all facades facing public right-of-way shall be natural or manufactured stone. A minimum of ten percent (10%) of all other facades shall be natural or manufactured stone.
- D. All buildings with a footprint of less than ten thousand (10,000) square feet and located 100 feet or less from a residential zoning district shall incorporate a pitched, gabled, mansard, hipped, or otherwise sloped roof. All sloped roofs shall have a six (6) in twelve (12) inch minimum slope. All buildings with a footprint of less than ten thousand (10,000) square feet and located 100 feet or greater from a residential zoning district shall incorporate a pitched, gabled, mansard, hipped, or otherwise sloped roof, or a flat roof with an articulated parapet wall or cornice. Wood shingles are prohibited. Composition shingles are allowed provided they have architectural detail and a minimum 30-year life.
- E. All buildings with a footprint of ten thousand (10,000) square feet and greater shall incorporate sloped roof elements including, but not limited to pitched roofs on towers or arcades, sloped awnings, sloped parapets. Flat roofs are permitted with an articulated parapet wall or cornice in place of the required sloped roof elements. The sloped elements shall be provided along a minimum of sixty percent (60%) of each wall's length. All sloped roof elements shall have a six (6) in twelve (12) inch minimum slope. Wood shingles are prohibited. Composition shingles are allowed provided they have architectural detail and a minimum 30-year life.
- F. All buildings shall be designed to incorporate a form of architectural articulation every thirty feet (30'), both horizontally along each wall's length and vertically along each wall's height. Acceptable articulation may include the following:
- Canopies, awnings, or porticos;
  - Recesses/projections;
  - Arcades;
  - Arches;



- Display windows, including a minimum sill height of thirty inches (30”);
  - Architectural details (such as tile work and moldings) integrated into the building facade;
  - Articulated ground floor levels or base;
  - Articulated cornice line;
  - Integrated planters or wing walls that incorporate landscape and sitting areas;
  - Offsets, reveals or projecting rib used to express architectural or structural bays; or
  - Varied roof heights.
- G. All buildings shall be designed to incorporate a form of window articulation. Acceptable articulation may include the following:
- Detailed/patterned mullions
  - Glass depth from wall min. 8”
  - Projected awnings/sunshades
  - Water table in lieu of floor to ceiling glass
  - Articulated lintel (i.e. soldier course in brick or material change EIFS or cast stone with min. ½” projection)
  - Articulated sill (i.e. soldier course in brick or material change EIFS or cast stone with min. ½” projection)
  - Cast stone surrounds on entire window
- H. All buildings constructed primarily of brick shall incorporate a form of brick patterning. Acceptable patterning may include those represented below, or similar subject to approval by the Director of Development Services:
- I. All buildings shall be architecturally finished on all four (4) sides with same materials, detailing, and features except the rear if two (2) rows of trees are planted on the perimeter behind the building. In this case, the architectural finish must match the remainder of the building in color only. A double row of trees on offset fifty-foot (50’) centers in a fifteen-foot (15’) landscape edge, where fifty percent (50%) of the trees are canopy evergreen trees. This is for facades that are not visible from public streets and apply to anchor buildings and attached in line spaces only. This provision does not apply to “out” buildings or pad sites.
- J. Windows shall have a maximum exterior visible reflectivity of ten percent (10%). The intent of this provision is to prevent the safety hazard of light reflecting from the windows on to adjacent roadways.
- K. All retail/commercial buildings with facades greater than two hundred feet (200’) in length shall incorporate wall plane projections or recesses that are at least six feet (6’) deep. Projections/recesses must be at least twenty-five percent (25%) of the length of the facade. No uninterrupted length of facade may exceed one hundred feet (100’) in length. This requirement does not apply to building developed and occupied entirely for office uses.
- L. All buildings within a common development shall have similar architectural styles, materials, and colors.
- M. All primary and secondary exterior building materials (exclusive of glass) shall be of natural texture and shall be neutrals, creams, or other similar, non-reflective earth tone



colors. Bright, reflective, pure tone primary or secondary colors, such as red, orange, yellow, blue, violet, or green are not permitted.

- N. Corporate identities that conflict with the building design criteria shall be reviewed on a case-by-case basis and approved by the Director of Development Services or his/her designee.
- O. Exposed conduit, ladders, utility boxes, and drain spouts shall be painted to match the color of the building or an accent color. Natural metal finishes (patina) are an acceptable alternative to paint.



Filed and Recorded  
Official Public Records  
Stacey Kemp, County Clerk  
Collin County, TEXAS  
06/01/2021 12:48:36 PM  
\$74.00 NPRECELLA  
20210601001099590

A handwritten signature in cursive script that reads "Stacey Kemp".





## PLANNING

**To:** Planning & Zoning Commission  
**From:** Dakari Hill, Senior Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Planning & Zoning Commission Meeting – April 23, 2024

**Item No. 3h**

---

**Agenda Item:**

Consider and act upon a request for a Site Plan for Multifamily Buildings and Leasing Office on Gates of Prosper, Phase 2, Block D, Lot 3, on 16.0± acres, located on the northwest corner of Bravo Way and Richland Boulevard. (DEVAPP-23-0210)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as the Town Center District.

**Zoning:**

The property is zoned as Planned Development-67 (Mixed-Use).

**Conformance:**

The Site Plan conforms to the development standards of Planned Development-67.

**Description of Agenda Item:**

The Site Plan consists of ten multifamily buildings and a leasing office totaling 389,436 square feet. It is the second phase of this development. The Preliminary Site Plan (DEVAPP-23-0162) for Phase 2 was approved by the Planning & Zoning Commission on December 19, 2023. Phase 2 consists of 256 units.

The Site Plan (D21-0070) for the first phase was approved by the Planning & Zoning Commission on August 3, 2021. Phase 1 of this development consists of 344 units. The total number of units for both phases is 600, which is the maximum number of multifamily units permitted by Planned Development-67.

**Access:**

Access is provided from Bravo Way and Richland Boulevard.



**Landscaping, Open Space, and Screening:**

The proposed development complies with all landscaping, open space, and screening requirements as specified in Planned Development-67.

**Companion Item:**

As companion items, the Final Plat (DEVAPP-23-0211) and the Façade Plan (DEVAPP-23-0212) are on this Planning & Zoning Commission agenda.

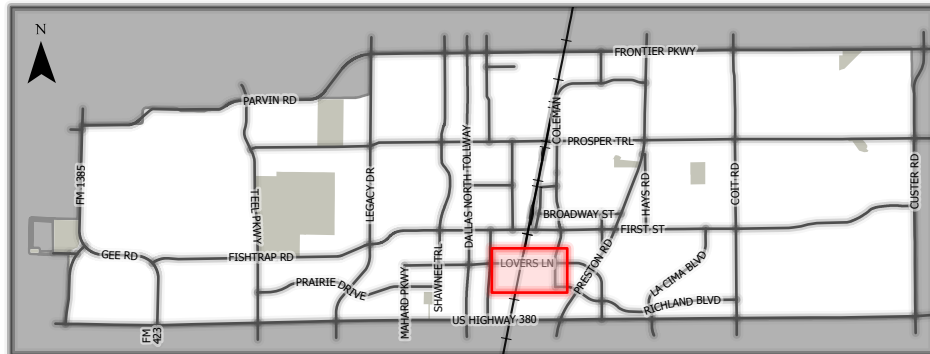
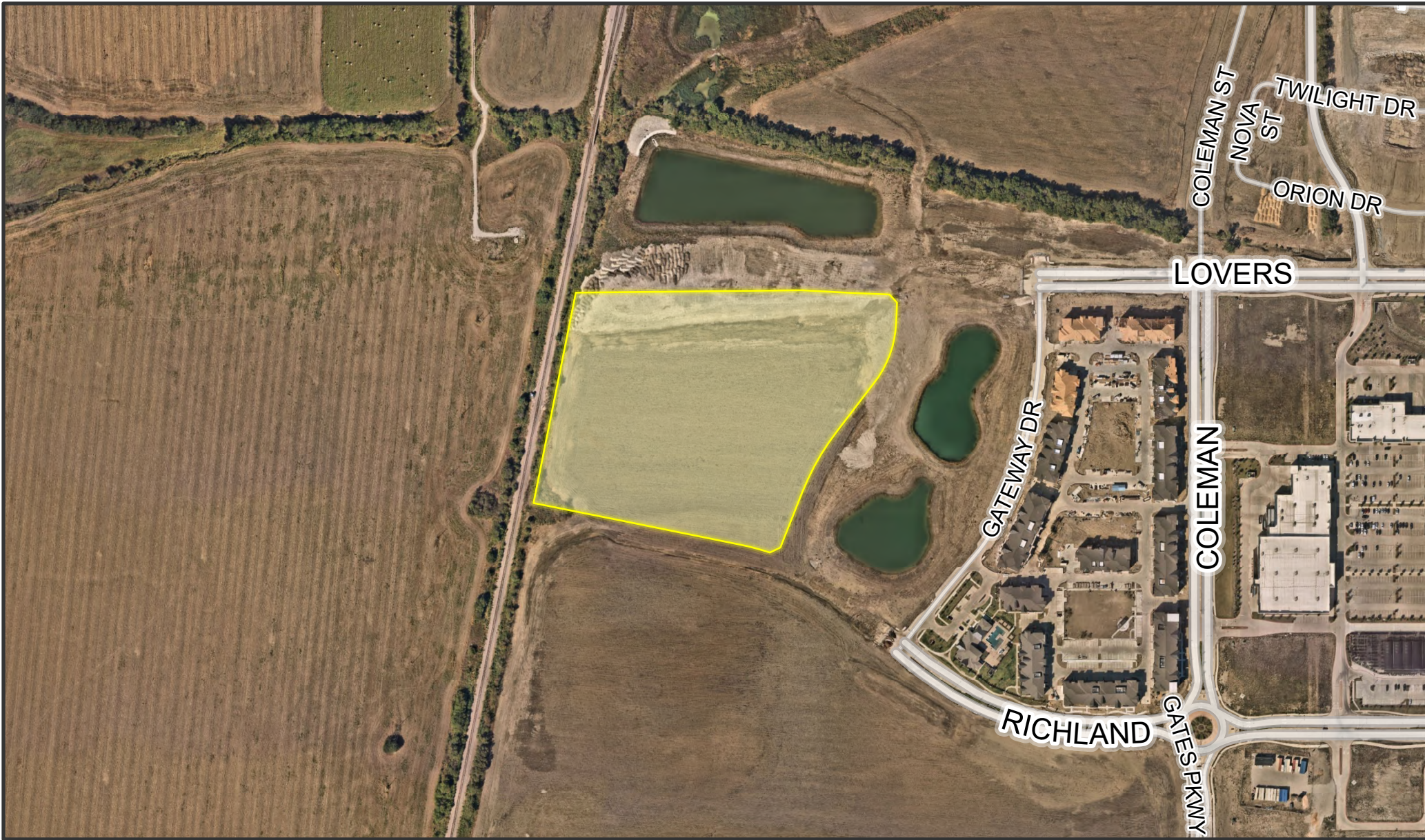
**Attachments:**

1. Location Map
2. Site Plan
3. Approved Site Plan for Phase 1 (D21-0070)
4. Approved Preliminary Site Plan for Phase 2 (DEVAPP-23-0162)

**Town Staff Recommendation:**

Town Staff recommends approval of the Site Plan.





**DEVAPP-23-0210**  
 Gates of Prosper, Phase 2  
 Block D Lot 3

59

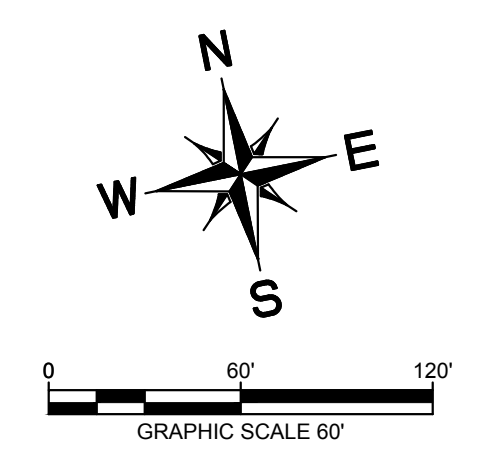
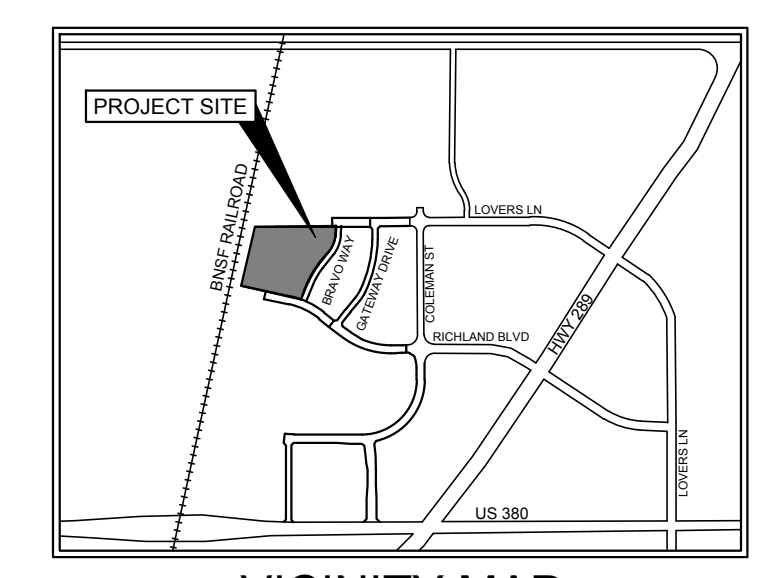
Site Plan

This map for illustration purposes only



SP-02

SP-03



LEGEND table with symbols for Proposed Fire Lane, Proposed Infrastructure Pavement, Proposed Building, Proposed Contour, Existing Contour, Accessible Parking Symbol, Water Meter, Fire Hydrant, Fire Department Connection, Sanitary Sewer Manhole, Transformer Pad, Curb Inlet, Grate Inlet, Junction Box or Wye Inlet, Headwall, Typical, Sanitary Sewer Easement, Water Easement, Drainage Easement, Barrier Free Ramp, Sidewalk, Building Line/Setback, Curb Inlet, Grate Inlet, Wye Inlet, Junction Box, Manhole, Existing, Proposed.

FIRE PROTECTION NOTES: 1. 150' HOSE LAY REQUIREMENT HAS BEEN CONCEDED FOR THE FOLLOWING: 1. LEASING OFFICE AND POOL AREA SHOWN ON THIS DRAWING 2. PAIR OF 3'-0" MAN GATES SHALL BE INSTALLED AS SHOWN ON THIS DRAWING 3. THE PROPERTY SHALL HAVE THREE ACCESS-CONTROLLED VEHICLE GATES AS SHOWN ON THIS DRAWING 4. BUILDINGS SHALL BE PROTECTED WITH SPRINKLER SUPPRESSION AND STANDPIPE SYSTEMS COMPLIANT WITH: 4.1. NFPA 13 - CURRENT EDITION (LEASING, BLDGS 1, 2, 5, 6, 7, 9, AND 10) 4.2. NFPA 13R - CURRENT EDITION (BLDGS 3, 4, AND 8) 4.3. THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW 5. ALL RESIDENTIAL BUILDINGS SHALL BE PROTECTED WITH STANDPIPE SYSTEMS COMPLIANT WITH 5.1. NFPA 14 - CURRENT EDITION 5.2. PROSPER ORDINANCE 18-95, SECTION 905.3.9 & 905.3.8.1 5.3. THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW 6. ALL RISER ROOMS SHALL BE 36 S.F. WITH ONE WALL A MINIMUM OF 6' LONG

SITE DATA SUMMARY TABLE

Table with 2 columns: ZONING/PROPOSED USE and PD-67 MULTI-FAMILY. Rows include Lot Area, Building Area, Building Height, Lot Coverage, Floor Area Ratio, Total Parking Required, Total Parking Provided, Total Handicap Required, Total Handicap Provided, Interior Landscaping Required, ImperVIOUS Surface, Usable Open Space Required, Usable Open Space Provided.

NOTE: 1. ALL OPEN SPACE AND LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE W THE REQUIREMENTS OUTLINED IN PD-67 2. LOT MUST CONFORM TO ALL REQUIREMENTS OUTLINED IN PD-67 AND ZONING ORDINANCE #05-20. 3. ALL DIMENSIONS PROVIDED ARE FROM THE FACE OF CURB.

NOTES: ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS. 1. ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS. 2. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER. 3. ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER. 4. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE. 5. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL. 6. IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS. 7. THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID. 8. OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION POND

SITE PLAN GATES OF PROSPER - PHASE 2 MF BLOCK D, LOT 3 DEVAPP-23-0210 Being 15.99 Acres Out Of The COLLIN COUNTY SCHOOL NO. 12 SURVEY Abstract No. 147 BEN RENSON SURVEY Abstract No. 755 Town of Prosper, Collin County, Texas Submitted: DECEMBER 4, 2023

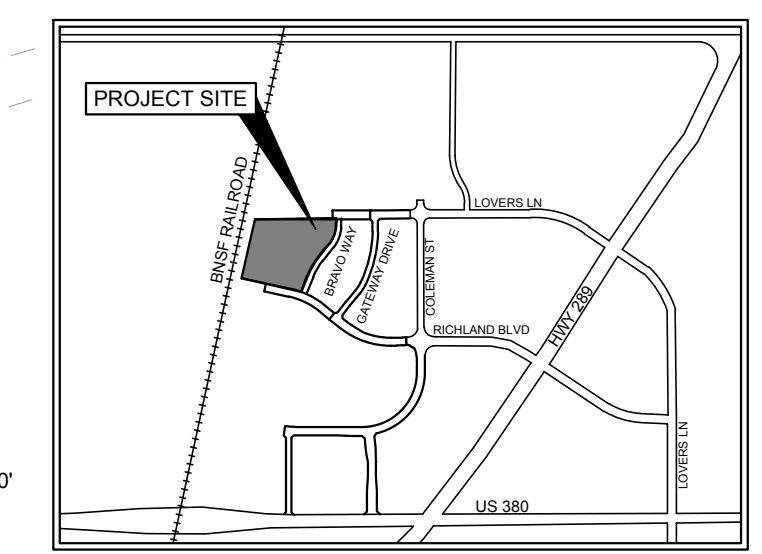
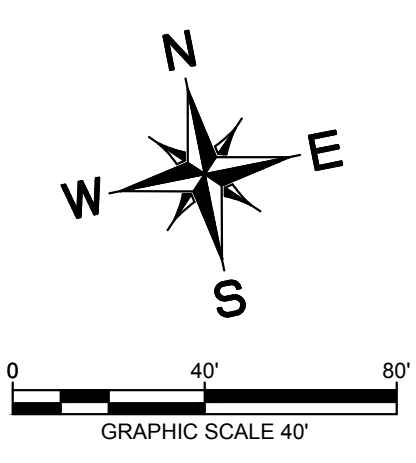
Owner: 380 & 289 LP 1 Cowboys Way Frisco, Texas 75034 Contact: Nicholas Link Phone: (972)-497-4854 Owner: 183 Land Corporation Inc. 1 Cowboys Way Frisco, Texas 75034 Contact: Nicholas Link Phone: (972)-497-4854 Engineer/Surveyor: Kimley-Horn and Associates, Inc. 280 East Davis Street Suite 100 McKinney, Texas 75069 Contact: Rachel Korus, P.E. Phone: (469)-301-2594

Project information including Kimley-Horn logo, project name (GATES OF PROSPER MULTIFAMILY PHASE 2), sheet number (SP-01), and revision table.

Vertical text on the left margin: Drawn by: [Name], Checked by: [Name], Date: [Date], Scale: [Scale], Project: [Project Name]



Kimley-Horn and Associates, Inc. 12/19/2023  
 280 East Davis Street, Suite 100, McKinney, TX 75069  
 Phone: 469-301-2580 Fax: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928



VICINITY MAP  
N.T.S.

**LEGEND**

[Symbol]	PROPOSED FIRE LANE
[Symbol]	PROPOSED INFRASTRUCTURE PAVEMENT
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONTOUR - MAJOR
[Symbol]	PROPOSED CONTOUR - MINOR
[Symbol]	EXISTING CONTOUR - MAJOR
[Symbol]	EXISTING CONTOUR - MINOR
[Symbol]	BARRIER FREE RAMP (BFR)
[Symbol]	ACCESSIBLE PARKING SYMBOL
[Symbol]	NUMBER OF PARKING SPACES
[Symbol]	WATER METER (AND VAULT)
[Symbol]	FIRE HYDRANT
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	TRANSFORMER PAD
[Symbol]	CURB INLET
[Symbol]	GRATE INLET
[Symbol]	JUNCTION BOX OR WYE INLET
[Symbol]	HEADWALL
[Symbol]	TYPICAL
[Symbol]	SANITARY SEWER EASEMENT
[Symbol]	WE
[Symbol]	DE
[Symbol]	DRAINAGE EASEMENT
[Symbol]	BFR
[Symbol]	SW
[Symbol]	BL
[Symbol]	BUILDING LINE/SETBACK
[Symbol]	CI
[Symbol]	GI
[Symbol]	WI
[Symbol]	WYE INLET
[Symbol]	JB
[Symbol]	JUNCTION BOX
[Symbol]	MH
[Symbol]	MANHOLE
[Symbol]	EX
[Symbol]	EXISTING
[Symbol]	PROP.
[Symbol]	PROPOSED

**NOTE:**  
 1. ALL OPEN SPACE AND LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN PD-67.  
 2. LOT MUST CONFORM TO ALL REQUIREMENTS OUTLINED IN PD-47 AND ZONING ORDINANCE 905-20.  
 3. ALL DIMENSIONS PROVIDED ARE FROM THE FACE OF CURB.

**NOTES**

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
- LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
- ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
- THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
- OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION POND.

- FIRE PROTECTION NOTE:**
- 150' HOSE LAY REQUIREMENT HAS BEEN CONCEDED FOR THE FOLLOWING:
    - LEASING OFFICE AND POOL AREA
    - BUILDING 99
  - PAIR OF 3'-0" MAN GATES SHALL BE INSTALLED AS SHOWN ON THIS DRAWING
  - THE PROPERTY SHALL HAVE THREE ACCESS-CONTROLLED VEHICLE GATES AS SHOWN ON THIS DRAWING
  - BUILDINGS SHALL BE PROTECTED WITH SPRINKLER SUPPRESSION AND STANDPIPE SYSTEMS COMPLIANT WITH:
    - NFPA 13 - CURRENT EDITION (LEASING, BLDGS 1, 2, 5, 6, 7, 9, AND 10)
    - NFPA 13R - CURRENT EDITION (BLDGS 3, 4, AND 8)
    - THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW
  - ALL RESIDENTIAL BUILDINGS SHALL BE PROTECTED WITH STANDPIPE SYSTEMS COMPLIANT WITH:
    - NFPA 14 - CURRENT EDITION
    - PROSPER ORDINANCE 18-05, SECTION 905.3.9 & 905.3.1
    - THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW
  - ALL RISER ROOMS SHALL BE 36 S.F WITH ALL WALLS A MINIMUM OF 6' LONG

**SITE PLAN**  
**GATES OF PROSPER - PHASE 2 MF**  
**BLOCK D, LOT 3**  
**DEVAPP-23-0210**  
*Being 15.99 Acres Out Of The*  
**COLLIN COUNTY SCHOOL NO. 12 SURVEY**  
*Abstract No. 147*  
**BEN RENSON SURVEY Abstract No. 755**  
**Town of Prosper, Collin County, Texas**  
**Submitted: DECEMBER 4, 2023**

<b>Owner:</b> 380 & 289 LP 1 Cowboys Way Frisco, Texas 75034 Contact: Nicholas Link Phone: (972)-497-4854	<b>Owner:</b> 183 Land Corporation Inc. 1 Cowboys Way Frisco, Texas 75034 Contact: Nicholas Link Phone: (972)-497-4854	<b>Engineer/Surveyor:</b> Kimley-Horn and Associates, Inc. 280 East Davis Street Suite 100 McKinney, Texas 75069 Contact: Rachel Korus, P.E. Phone: (469)-301-2594
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© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 280 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069  
 PHONE: 469-301-2580 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928

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**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction or permit purposes.

Engineer: RACHEL A. KORUS  
 P.E. No. 132468 Date: 01/19/2024

KHA PROJECT 064508525	DATE 12/19/2023	SCALE AS SHOWN	DESIGNED BY RAK
			DRAWN BY KEW
			CHECKED BY RAK

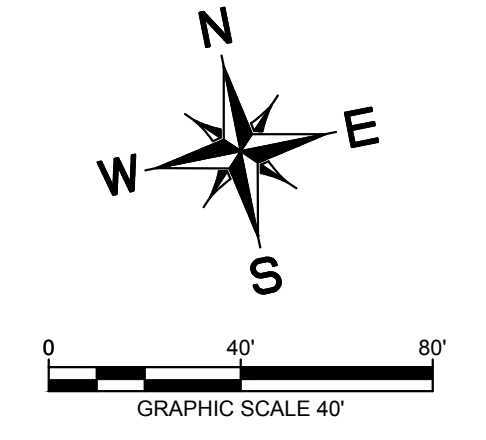
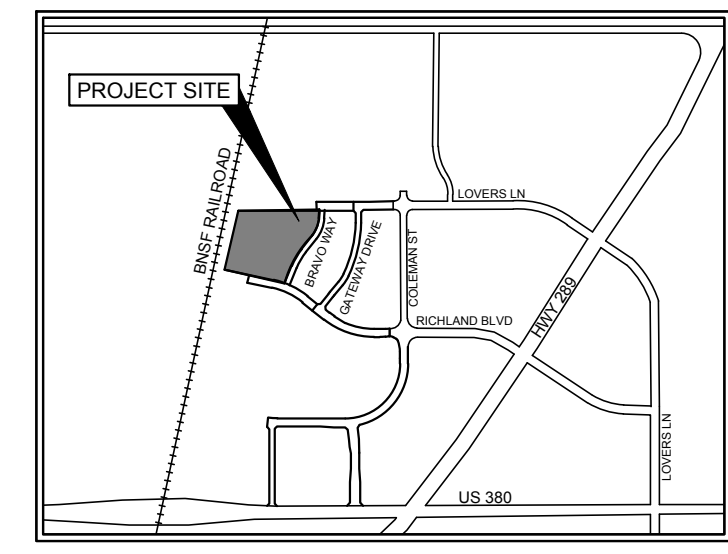
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**GATES OF PROSPER MULTIFAMILY PHASE 2**  
 PROSPER, TEXAS

**SITE PLAN**

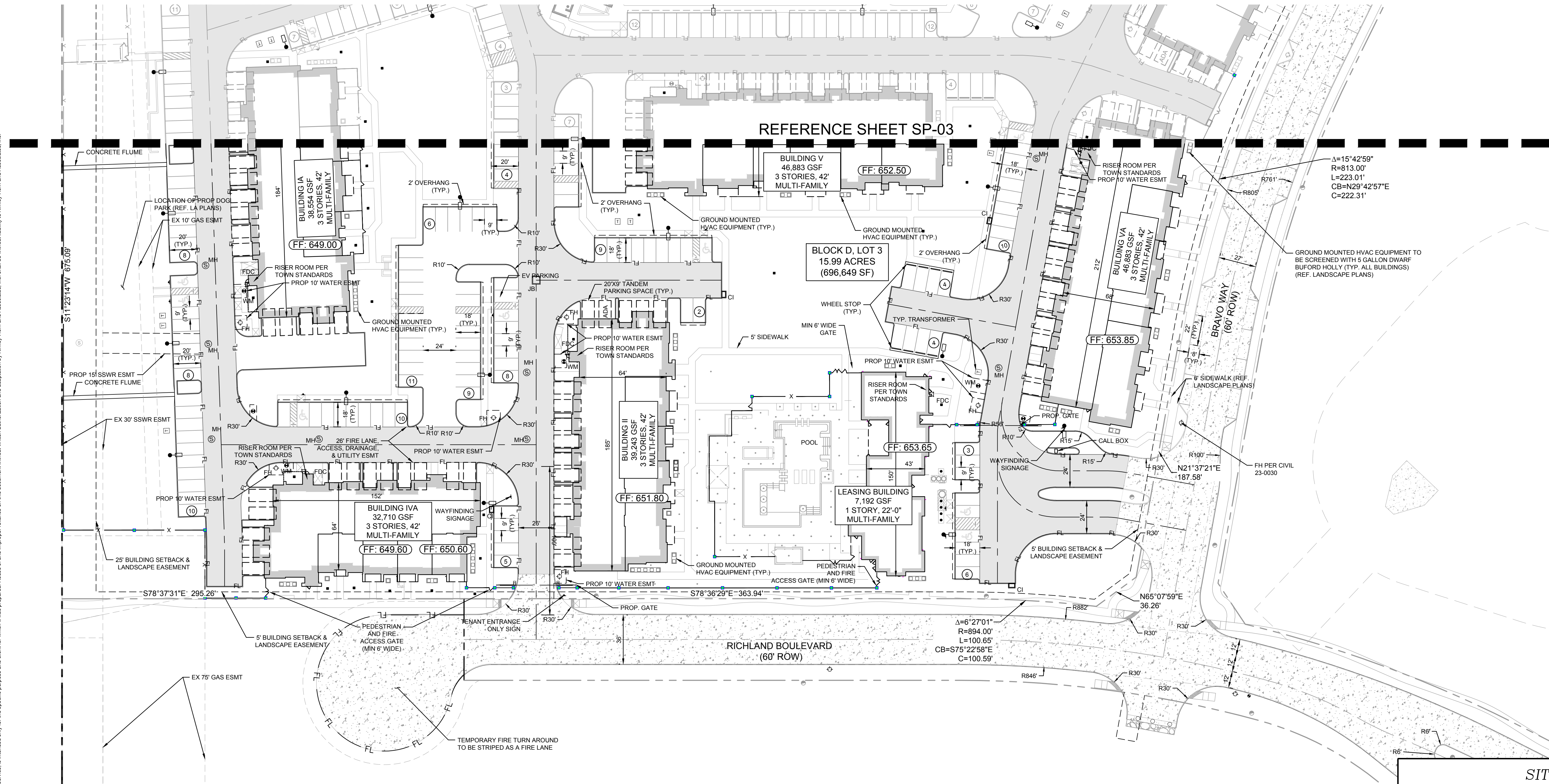
SHEET NUMBER  
**SP-02**





**LEGEND**

	PROPOSED FIRE LANE
	PROPOSED INFRASTRUCTURE PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONTOUR - MAJOR
	PROPOSED CONTOUR - MINOR
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
	WATER METER (AND VAULT)
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
	TRANSFORMER PAD
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
	TYPICAL
	SANITARY SEWER EASEMENT
	WATER EASEMENT
	DRAINAGE EASEMENT
	BARRIER FREE RAMP
	SIDEWALK
	BUILDING LINE/SETBACK
	CURB INLET
	GRATE INLET
	WYE INLET
	JUNCTION BOX
	MANHOLE
	EXISTING
	PROPOSED



**REFERENCE SHEET SP-03**

**NOTES**

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
1. ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
  2. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
  3. ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
  4. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  5. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  6. IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  7. THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
  8. OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION POND.

- FIRE PROTECTION NOTE:**
1. 150' HOSE LAY REQUIREMENT HAS BEEN CONCEDED FOR THE FOLLOWING:
    - 1.1. LEASING OFFICE AND POOL AREA
    - 1.2. BUILDING #9
  2. PAIR OF 3'-0" MAN GATES SHALL BE INSTALLED AS SHOWN ON THIS DRAWING
  3. THE PROPERTY SHALL HAVE THREE ACCESS-CONTROLLED VEHICLE GATES AS SHOWN ON THIS DRAWING
  4. BUILDINGS SHALL BE PROTECTED WITH SPRINKLER SUPPRESSION AND STANDPIPE SYSTEMS COMPLIANT WITH
    - 4.1. NFPA 13 - CURRENT EDITION (LEASING, BLDGS 1, 2, 5, 6, 7, 8, AND 10)
    - 4.2. NFPA 13R - CURRENT EDITION (BLDGS 3, 4, AND 8)
    - 4.3. THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW
  5. ALL RESIDENTIAL BUILDINGS SHALL BE PROTECTED WITH STANDPIPE SYSTEMS COMPLIANT WITH
    - 5.1. NFPA 14 - CURRENT EDITION
    - 5.2. PROSPER ORDINANCE 18-95, SECTION 905.3.8 & 905.3.9.1
    - 5.3. THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW
  6. ALL RISER ROOMS SHALL BE 36 S.F. WITH ALL WALLS A MINIMUM OF 6' LONG

**NOTE:**  
 1. ALL OPEN SPACE AND LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN PD-67.  
 2. LOT MUST CONFORM TO ALL REQUIREMENTS OUTLINED IN PD-67 AND ZONING ORDINANCE #05-20.  
 3. ALL DIMENSIONS PROVIDED ARE FROM THE FACE OF CURB.

**SITE PLAN**  
**GATES OF PROSPER - PHASE 2 MF**  
**BLOCK D, LOT 3**  
**DEVAPP-23-0210**  
*Being 15.99 Acres Out Of The*  
**COLLIN COUNTY SCHOOL NO. 12 SURVEY**  
*Abstract No. 147*  
**BEN RENSON SURVEY Abstract No. 755**  
**Town of Prosper, Collin County, Texas**  
**Submitted: DECEMBER 4, 2023**

**Owner:**  
 380 & 289 LP  
 1 Cowboys Way  
 Frisco, Texas 75034  
 Contact: Nicholas Link  
 Phone: (972)-497-4854

**Owner:**  
 183 Land Corporation Inc.  
 1 Cowboys Way  
 Frisco, Texas 75034  
 Contact: Nicholas Link  
 Phone: (972)-497-4854

**Engineer/Surveyor:**  
 Kimley-Horn and Associates, Inc.  
 280 East Davis Street Suite 100  
 McKinney, Texas 75069  
 Contact: Rachel Korus, P.E.  
 Phone: (469)-301-2594

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

NO. \_\_\_\_\_

BY \_\_\_\_\_

**Kimley-Horn**

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 280 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069  
 PHONE: 469-301-2590 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928

**PRELIMINARY**

FOR REVIEW ONLY  
 Not for construction or permit purposes.

Engine: RACHEL A. KORUS  
 P.E. No. 132468 Date: 01/19/2024

KHA PROJECT: 064508525

DATE: 12/19/2023

SCALE: AS SHOWN

DESIGNED BY: RAK

DRAWN BY: KEM

CHECKED BY: RAK

**GATES OF PROSPER MULTIFAMILY PHASE 2**

PROSPER, TEXAS

**SITE PLAN**

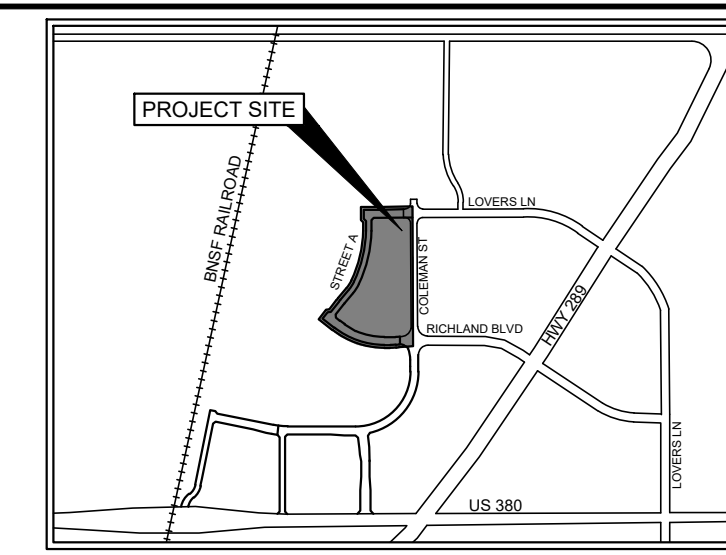
SHEET NUMBER  
**SP-03**



# Approved Site Plan for Phase 1 (D21-0070)

### LEGEND

- PROPOSED FIRE LANE
- EXISTING PAVEMENT
- PROPOSED BUILDING
- PROPOSED CONTOUR - MAJOR
- PROPOSED CONTOUR - MINOR
- EXISTING CONTOUR - MAJOR
- EXISTING CONTOUR - MINOR
- BARRIER FREE RAMP (BFR)
- ACCESSIBLE PARKING SYMBOL
- NUMBER OF PARKING SPACES
- WATER METER (AND VAULT)
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SANITARY SEWER MANHOLE
- TRANSFORMER PAD
- CURB INLET
- JUNCTION BOX OR WYE INLET
- HEADWALL
- TYPICAL
- SANITARY SEWER EASEMENT
- WATER EASEMENT
- DRAINAGE EASEMENT
- BARRIER FREE RAMP
- SIDEWALK
- BUILDING LINE/SETBACK
- CURB INLET
- GROUND INLET
- WYE INLET
- JUNCTION BOX
- MANHOLE
- EXISTING
- PROPOSED
- BUILDING GRADE BREAK



### NOTES

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.**
- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
  - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
  - ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
  - BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
  - OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
  - FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
  - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
  - SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
  - FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS. AMENDMENT 503.1.1
  - THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1
  - BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIREFIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET APART. AMENDMENT 503.2.2
  - THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
  - THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
  - DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
  - FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1
  - AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (300') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R3. R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500'). DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT TO HYDRANT, NOT AS THE "CROW FLYS." AMENDMENT 507.5.1
  - FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
  - FIRE HYDRANTS SHALL BE LOCATED 2 FOOT (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1
  - THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1
  - A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1
  - THE MAXIMUM DEAD-END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
  - ONE- AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS. AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE- AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,500 SQUARE FEET (511 M<sup>2</sup>) OR GREATER, DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R313.2
  - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADAPTED BUILDING CODE.
  - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE PRELIMINARY SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
  - SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
  - ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
  - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
  - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF GO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  - THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR EIGHTEEN (18) MONTHS FROM THE DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY IS NULL AND VOID.

- NOTE:**
- ALL OPEN SPACE AND LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN PD-67
  - LOT MUST CONFORM TO ALL REQUIREMENTS OUTLINED IN PD-67 AND ZONING ORDINANCE #05-20.
  - ALL DIMENSIONS PROVIDED ARE FROM THE FACE OF CURB.
  - ALL HVAC SYSTEMS TO BE SCREENED FROM ROW

BLOCK D, LOT 1 SITE DATA TABLE	
ZONING	MIXED USE/PD-67
PROPOSED USE	MULTI-FAMILY
LOT AREA (SF)	736,621
LOT AREA (AC)	16.91
BUILDING AREA (GSF)	538,040
BUILDING HEIGHT	40' (3 STORIES)
LOT COVERAGE	73.04%
<b>TOTAL PARKING REQUIRED</b>	
211 1-BDRM x 1.5 SPACES = 317 SPACES	
118 2-BDRM x 2.0 SPACES = 236 SPACES	
15 3-BDRM x 2.5 SPACES = 38 SPACES	
<b>TOTAL PARKING PROVIDED</b>	591
STANDARD = 368 SPACES	
GARAGE = 204 SPACES	761
TANDEM = 189 SPACES	
HANDICAP PARKING REQUIRED	15
HANDICAP PARKING PROVIDED	17
INTERIOR LANDSCAPING REQUIRED (SF)	15,220
INTERIOR LANDSCAPING PROVIDED (SF)	15,220
IMPERVIOUS SURFACE (SF)	527,076
OPEN SPACE REQUIRED (SF) (30%)	220,986
OPEN SPACE PROVIDED (SF) (30%)	220,986

\*PARALLEL SPACES ALONG STREET A NOT INCLUDED IN PARKING COUNT

- FIRE PROTECTION NOTE:**
- 150' HOSE LAY REQUIREMENT HAS BEEN CONCEDED FOR THE FOLLOWING:
    1. LEASING OFFICE AND POOL AREA
    2. BUILDING #4
    3. BUILDING #6
    4. BUILDING #11
    5. BUILDING #12
  - 3-0' MAN GATES SHALL BE INSTALLED AS SHOWN ON THIS DRAWING
  - ADDITIONAL FIRE LANES SHALL BE ADDED AS SHOWN ON THIS DRAWING
  - THE PROPERTY SHALL THREE (3) VEHICLE ACCESS-CONTROLLED GATES AS SHOWN ON THIS DRAWING
  - ALL RESIDENTIAL BUILDINGS SHALL BE PROTECTED WITH SPRINKLER SUPPRESSION AND STANDPIPE SYSTEMS COMPLIANT WITH
    - 5.1. NFPA 13R - CURRENT EDITION
    - 5.2. NFPA 14 - CURRENT EDITION
    - 5.3. PROSPER ORDINANCE 18-05, SECTIONS 905.3.9 & 905.3.9.1
    - 5.4. THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW BY OUR 3RD PARTY REVIEW FIRM
  - ALL FIRE CAULKING SHALL BE PERFORMED BY A PROFESSIONAL FIRE CAULKING COMPANY WITH CURRENTLY LISTED REGISTRATION TO PERFORM SUCH SERVICES EMPLOYED PERSONNEL CERTIFIED TO PERFORM SUCH SERVICES.
  - ALL RISER ROOMS SHALL BE 36 FT<sup>2</sup> WITH ONE WALL A MINIMUM OF 6' LONG

**SITE PLAN**  
**GATES OF PROSPER - PHASE 1 MF**  
**BLOCK D, LOT 1**  
**D21-0070**  
*Being 16.91 Acres Out Of The*  
**COLLIN COUNTY SCHOOL NO. 12 SURVEY**  
*Abstract No. 147*  
**BEN RENISON SURVEY Abstract No. 755**  
**Town of Prosper, Collin County, Texas**  
**Submitted: JULY, 6 2021**

**Owner:**  
 380 & 289 LP  
 1 Cowboys Way  
 Frisco, Texas 75034  
 Contact: Nicholas Link  
 Phone: (972)-497-4854

**Owner:**  
 183 Land Corporation Inc.  
 1 Cowboys Way  
 Frisco, Texas 75034  
 Contact: Nicholas Link  
 Phone: (972)-497-4854

**Engineer/Surveyor:**  
 Kimley-Horn and Associates, Inc.  
 280 East Davis Street Suite 100  
 McKinney, Texas 75069  
 Contact: Rachel Korus, P.E.  
 Phone: (469)-301-2594

DATE: \_\_\_\_\_ BY: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 280 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069  
 PHONE: 469-301-2590 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928

**PRELIMINARY**

FOR REVIEW ONLY  
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**Kimley-Horn**

Engineer: RACHEL A. KORUS  
 P.E. No. 132468  
 Date: 07/02/2021

KHA PROJECT	068-09057	DATE	JULY 2021	SCALE	AS SHOWN	RAK	JCR
GATES OF PROSPER MULTIFAMILY PHASE 1		DESIGNED BY	RAK	DRAWN BY	RAK	CHECKED BY	JCR

**SITE PLAN**

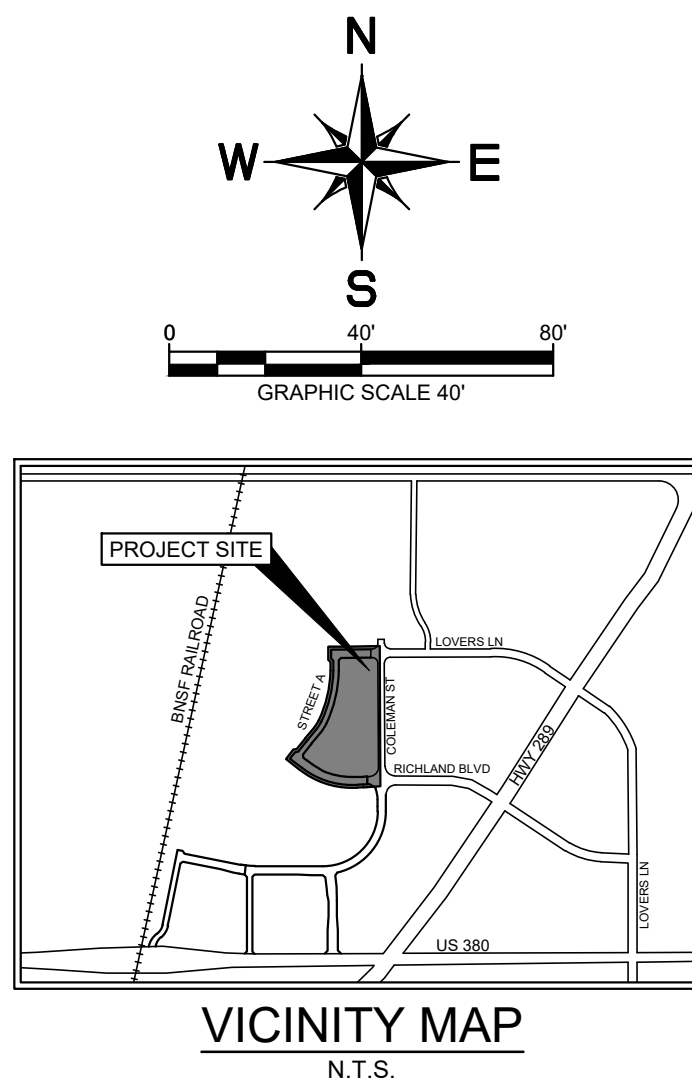
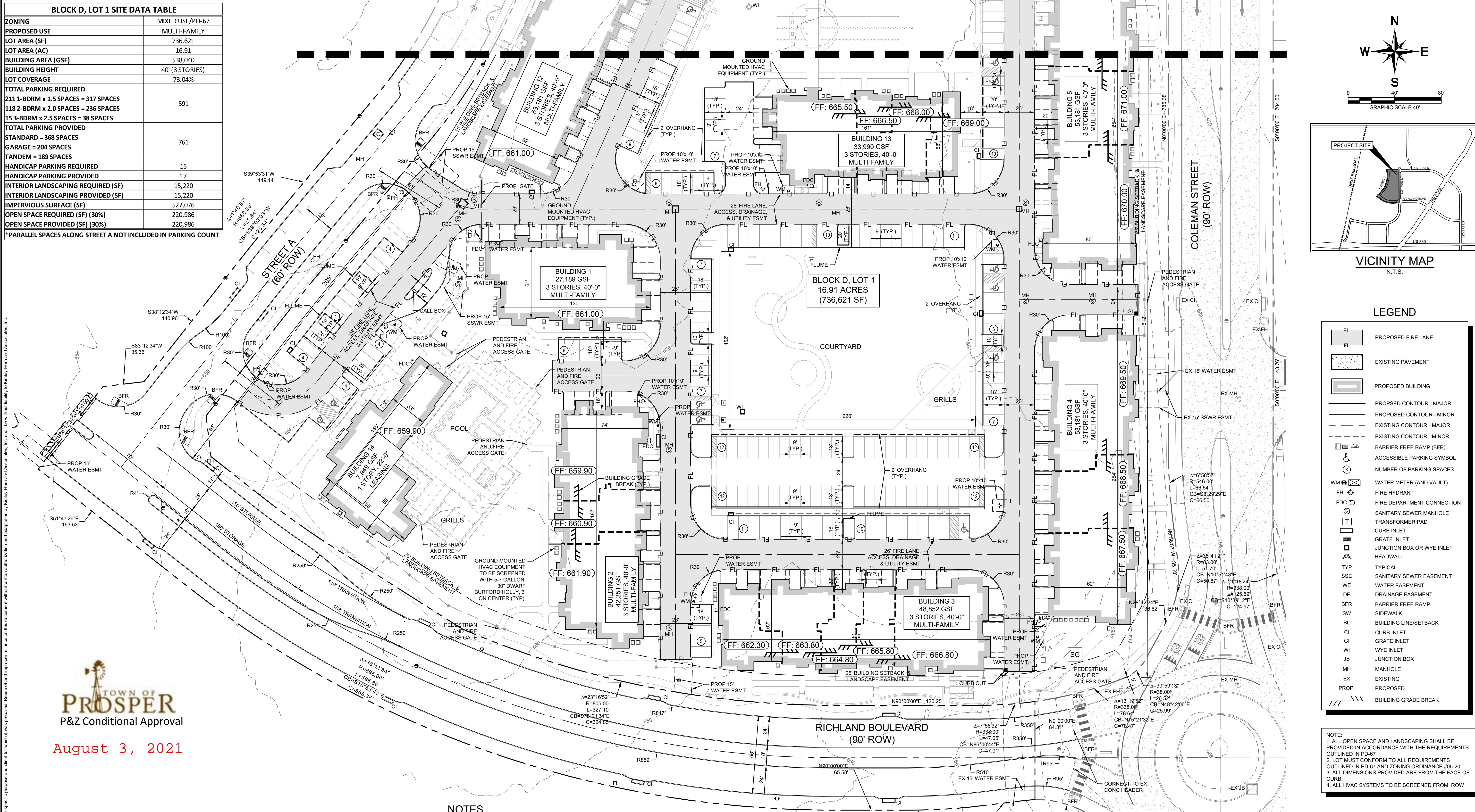
SHEET NUMBER  
**SP-1**

**TOWN OF PROSPER**  
 P&Z Conditional Approval  
 August 3, 2021

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED THEREIN, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND DELIBERATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



BLOCK D, LOT 1 SITE DATA TABLE	
ZONING	MIXED USE/PD-67
PROPOSED USE	MULTI-FAMILY
LOT AREA (SF)	736,621
LOT AREA (AC)	16.91
BUILDING AREA (GSF)	538,040
BUILDING HEIGHT	40' (3 STORIES)
LOT COVERAGE	73.04%
<b>TOTAL PARKING REQUIRED</b>	
211 1-BDRM x 1.5 SPACES = 317 SPACES	591
118 2-BDRM x 2.0 SPACES = 236 SPACES	
15 3-BDRM x 2.5 SPACES = 38 SPACES	
<b>TOTAL PARKING PROVIDED</b>	
STANDARD = 368 SPACES	761
GARAGE = 204 SPACES	
TANDEM = 189 SPACES	
<b>HANDICAP PARKING REQUIRED</b>	
HANDICAP PARKING PROVIDED	17
<b>INTERIOR LANDSCAPING REQUIRED (SF)</b>	
INTERIOR LANDSCAPING PROVIDED (SF)	15,220
<b>IMPERVIOUS SURFACE (SF)</b>	
IMPERVIOUS SURFACE PROVIDED (SF)	527,076
<b>OPEN SPACE REQUIRED (SF) (30%)</b>	
OPEN SPACE PROVIDED (SF) (30%)	220,986
<b>*PARALLEL SPACES ALONG STREET A NOT INCLUDED IN PARKING COUNT</b>	



LEGEND	
[Symbol]	PROPOSED FIRE LANE
[Symbol]	EXISTING PAVEMENT
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONTOUR - MAJOR
[Symbol]	PROPOSED CONTOUR - MINOR
[Symbol]	EXISTING CONTOUR - MAJOR
[Symbol]	EXISTING CONTOUR - MINOR
[Symbol]	BARRIER FREE RAMP (BFR)
[Symbol]	ACCESSIBLE PARKING SYMBOL
[Symbol]	NUMBER OF PARKING SPACES
[Symbol]	WATER METER (AND VAULT)
[Symbol]	FIRE HYDRANT
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	TRANSFORMER PAD
[Symbol]	CURB INLET
[Symbol]	JUNCTION BOX OR WYE INLET
[Symbol]	HEADWALL
[Symbol]	TYPICAL
[Symbol]	SSE
[Symbol]	WE
[Symbol]	DE
[Symbol]	BFR
[Symbol]	SW
[Symbol]	BL
[Symbol]	CI
[Symbol]	GI
[Symbol]	WI
[Symbol]	JB
[Symbol]	MH
[Symbol]	EX
[Symbol]	PROPOSED
[Symbol]	BUILDING GRADE BREAK

NOTE:  
 1. ALL OPEN SPACE AND LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN PD-67.  
 2. LOT MUST CONFORM TO ALL REQUIREMENTS OUTLINED IN PD-67 AND ZONING ORDINANCE #05-20.  
 3. ALL DIMENSIONS PROVIDED ARE FROM THE FACE OF CURB.  
 4. ALL HVAC SYSTEMS TO BE SCREENED FROM ROW

- NOTES**
- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
  - DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
  - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
  - ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
  - BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
  - OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
  - FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
  - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
  - SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
  - FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS. AMENDMENT 503.1.1
  - THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1
  - BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIREFIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET. APPENDIX D105
  - THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
  - THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
  - DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
  - FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1
  - AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (900') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R3. R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500'). DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLIES." AMENDMENT 507.5.1
  - FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
  - FIRE HYDRANTS SHALL BE LOCATED 2 FOOT (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1
  - THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1
  - A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1
  - THE MAXIMUM DEAD-END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
  - ONE- AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS: AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE- AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,200 SQUARE FEET (511 M2) OR GREATER, DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC 2015 AMENDMENT R313.2
  - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE PRELIMINARY SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
  - SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
  - ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
  - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
  - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF (2) AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  - THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR EIGHTEEN (18) MONTHS FROM THE DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY IS NULL AND VOID.

- FIRE PROTECTION NOTE:**
- 150' HOSE LAY REQUIREMENT HAS BEEN CONCEDED FOR THE FOLLOWING:
    - 1.1 LEASING OFFICE AND POOL AREA
    - 1.2 BUILDING #4
    - 1.3 BUILDING #6
    - 1.4 BUILDING #11
    - 1.5 BUILDING #12
  - 3-0' MAN GATES SHALL BE INSTALLED AS SHOWN ON THIS DRAWING
  - ADDITIONAL FIRE LANES SHALL BE ADDED AS SHOWN ON THIS DRAWING
  - THE PROPERTY SHALL THREE (3) VEHICLE ACCESS-CONTROLLED GATES AS SHOWN ON THIS DRAWING
  - ALL RESIDENTIAL BUILDINGS SHALL BE PROTECTED WITH SPRINKLER SUPPRESSION AND STANDPIPE SYSTEMS COMPLIANT WITH
    - 5.1. NFPA 13R - CURRENT EDITION
    - 5.2. NFPA 14 - CURRENT EDITION
    - 5.3. PROSPER ORDINANCE 18-95, SECTIONS 905.3.9 & 905.3.9.1
    - 5.4. THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW BY OUR 3RD PARTY REVIEW FIRM
  - ALL FIRE CAULKING SHALL BE PERFORMED BY A PROFESSIONAL FIRE CAULKING COMPANY WITH CURRENTLY LISTED REGISTRATION TO PERFORM SUCH SERVICES EMPLOYED PERSONNEL CERTIFIED TO PERFORM SUCH SERVICES.
  - ALL RISER ROOMS SHALL BE 36 FT<sup>2</sup> WITH ONE WALL A MINIMUM OF 6' LONG

**SITE PLAN**  
**GATES OF PROSPER - PHASE 1 MF**  
**BLOCK D, LOT 1**  
**D21-0070**  
*Being 16.91 Acres Out Of The*  
**COLLIN COUNTY SCHOOL NO. 12 SURVEY**  
*Abstract No. 147*  
**BEN RENISON SURVEY Abstract No. 755**  
**Town of Prosper, Collin County, Texas**  
**Submitted: JULY, 6 2021**

**Owner:**  
 380 & 209 LP  
 1 Cowboys Way  
 Frisco, Texas 75034  
 Contact: Nicholas Link  
 Phone: (972)-497-4854

**Owner:**  
 183 Land Corporation Inc.  
 1 Cowboys Way  
 Frisco, Texas 75034  
 Contact: Nicholas Link  
 Phone: (972)-497-4854

**Engineer/Surveyor:**  
 Kimley-Horn and Associates, Inc.  
 280 East Davis Street Suite 100  
 McKinney, Texas 75069  
 Contact: Rachel Korus, P.E.  
 Phone: (469)-301-2594

**Kimley»Horn**  
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 WWW.KIMLEY-HORN.COM TX F-928

**PHILIMINARY**  
 FOR REVIEW ONLY  
 Not for construction or permit purposes.  
**Kimley»Horn**  
 Engineer: RACHEL A. KORUS  
 P.E. No. 132468 Date: 07/02/2021

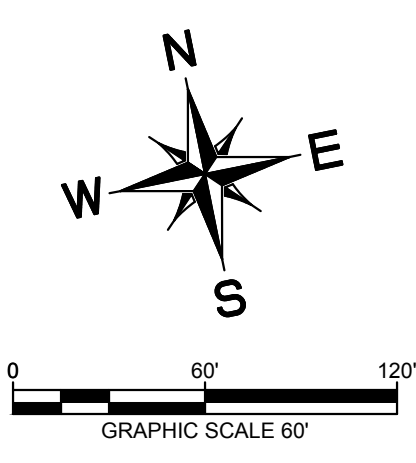
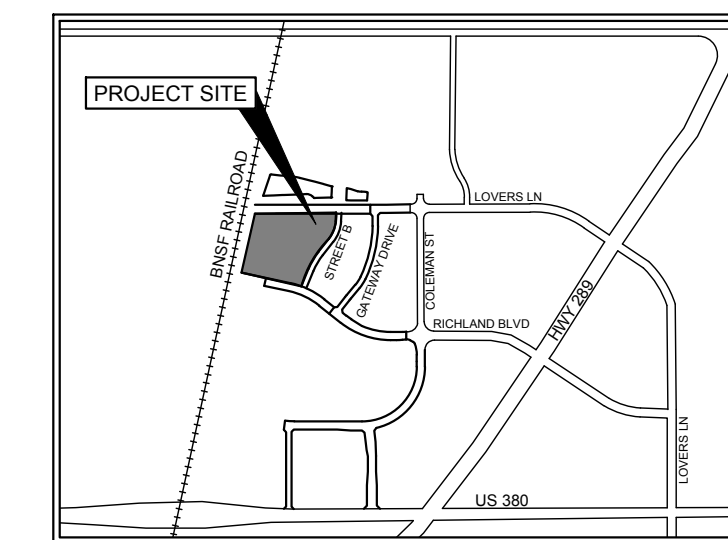
KHA PROJECT	068-09057	DATE	JULY 2021	SCALE	AS SHOWN	DESIGNED BY	RAK	DRAWN BY	RAK	CHECKED BY	JCR
<b>GATES OF PROSPER MULTIFAMILY PHASE 1</b>			<b>SITE PLAN</b>			<b>PROSPER, TEXAS</b>					



# Approved Preliminary Site Plan for Phase 2 (DEVAPP-23-0162)

SP-02

SP-03



**LEGEND**

FL	PROPOSED FIRE LANE
FL	PROPOSED INFRASTRUCTURE PAVEMENT
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONTOUR - MAJOR
[Symbol]	PROPOSED CONTOUR - MINOR
[Symbol]	EXISTING CONTOUR - MAJOR
[Symbol]	EXISTING CONTOUR - MINOR
[Symbol]	BARRIER FREE RAMP (BFR)
[Symbol]	ACCESSIBLE PARKING SYMBOL
[Symbol]	NUMBER OF PARKING SPACES
WM	WATER METER (AND VAULT)
FH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	TRANSFORMER PAD
[Symbol]	GRATE INLET
[Symbol]	JUNCTION BOX OR WYE INLET
[Symbol]	HEADWALL
TYP	TYPICAL
SSE	SANITARY SEWER EASEMENT
WE	WATER EASEMENT
DE	DRAINAGE EASEMENT
BFR	BARRIER FREE RAMP
SW	SIDEWALK
BL	BUILDING LINE/SETBACK
CI	CURB INLET
GI	GRATE INLET
WI	WYE INLET
JB	JUNCTION BOX
MH	MANHOLE
EX	EXISTING
PROP.	PROPOSED

- FIRE PROTECTION NOTES:**
- 150' HOSE LAY REQUIREMENT HAS BEEN CONCEDED FOR THE FOLLOWING:
    1. LEASING OFFICE AND POOL AREA
    2. BUILDING #9
  - PAIR OF 3'-0" MAN GATES SHALL BE INSTALLED AS SHOWN ON THIS DRAWING. THE PROPERTY SHALL HAVE THREE ACCESS-CONTROLLED VEHICLE GATES AS SHOWN ON THIS DRAWING.
  - BUILDINGS SHALL BE PROTECTED WITH SPRINKLER SUPPRESSION AND STANDPIPE SYSTEMS COMPLIANT WITH:
    1. NFPA 13 - CURRENT EDITION (LEASING, BLDGS 1, 2, 5, 6, 7, 9, AND 10)
    2. NFPA 13R - CURRENT EDITION (BLDGS 3, 4, AND 8)
    3. THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW
  - ALL RESIDENTIAL BUILDINGS SHALL BE PROTECTED WITH STANDPIPE SYSTEMS COMPLIANT WITH:
    1. NFPA 14 - CURRENT EDITION
    2. PROSPER ORDINANCE 18-95, SECTION 905.3.9 & 905.3.9.1
    3. THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW
  - ALL RISER ROOMS SHALL BE 36 S.F WITH ONE WALL A MINIMUM OF 6' LONG

**SITE DATA SUMMARY TABLE**

ZONING/PROPOSED USE	PD-67 MULTIFAMILY
LOT AREA/ SQ. FT. AND AC	696,649 SF; 15.99 AC
BUILDING AREA (gross square footage)	390,125 GSF
BUILDING HEIGHT (number of stories) MAX HEIGHT = 40'	37'-3" (3-STORY)
LOT COVERAGE	20.00%
FLOOR AREA RATIO (for non-residential zoning)	.56:1
TOTAL PARKING REQUIRED 162 - 1 BDRM x 1.5 SPACES 94 - 2 BDRM x 2.0 SPACES	431 SPACES
TOTAL PARKING PROVIDED STANDARD = 296 INDIVIDUAL GARAGE = 146 TANDEM = 145	587 SPACES
TOTAL HANDICAP REQUIRED	14 SPACES
TOTAL HANDICAP PROVIDED	14 SPACES
INTERIOR LANDSCAPING REQUIRED	12,100 SQ. FT.
INTERIOR LANDSCAPING PROVIDED	12,100 SQ. FT.
IMPERVIOUS SURFACE	624,485 SQ. FT.
USABLE OPEN SPACE REQUIRED	208,994 SQ. FT. (30%)
USABLE OPEN SPACE PROVIDED	208,994 SQ. FT. (30%)

\*PARALLEL SPACES ALONG STREET B NOT INCLUDED IN PARKING COUNT



**NOTE:**  
1. ALL OPEN SPACE AND LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE W/ THE REQUIREMENTS OUTLINED IN PD-67.  
2. LOT MUST CONFORM TO ALL REQUIREMENTS OUTLINED IN PD-67 AND ZONING ORDINANCE #05-20.  
3. ALL DIMENSIONS PROVIDED ARE FROM THE FACE OF CURB.

**NOTES**

ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.

1. ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
2. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
3. ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
4. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
5. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
6. IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
7. THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
8. OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION POND.

**Kimley»Horn**  
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260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069  
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WWW.KIMLEY-HORN.COM TX F-928

**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction or permit purposes.  
**Kimley»Horn**  
Engineer: RACHEL A. KORUS  
P.E. No. 132468 Date: 12/24/2023

KHA PROJECT	064508525	DATE	12/06/2023	SCALE	AS SHOWN	DESIGNED BY	RAK	DRAWN BY	KEM	CHECKED BY	RAK
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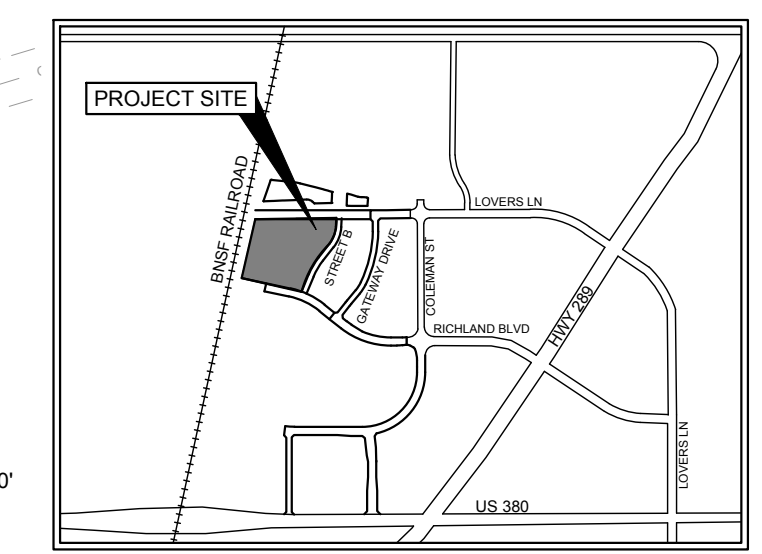
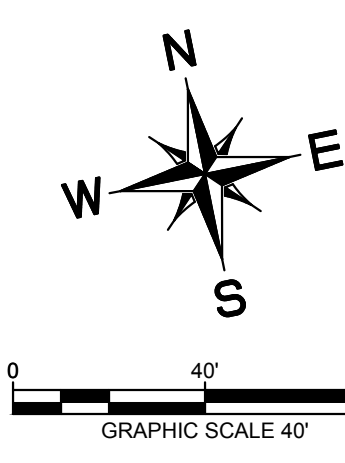
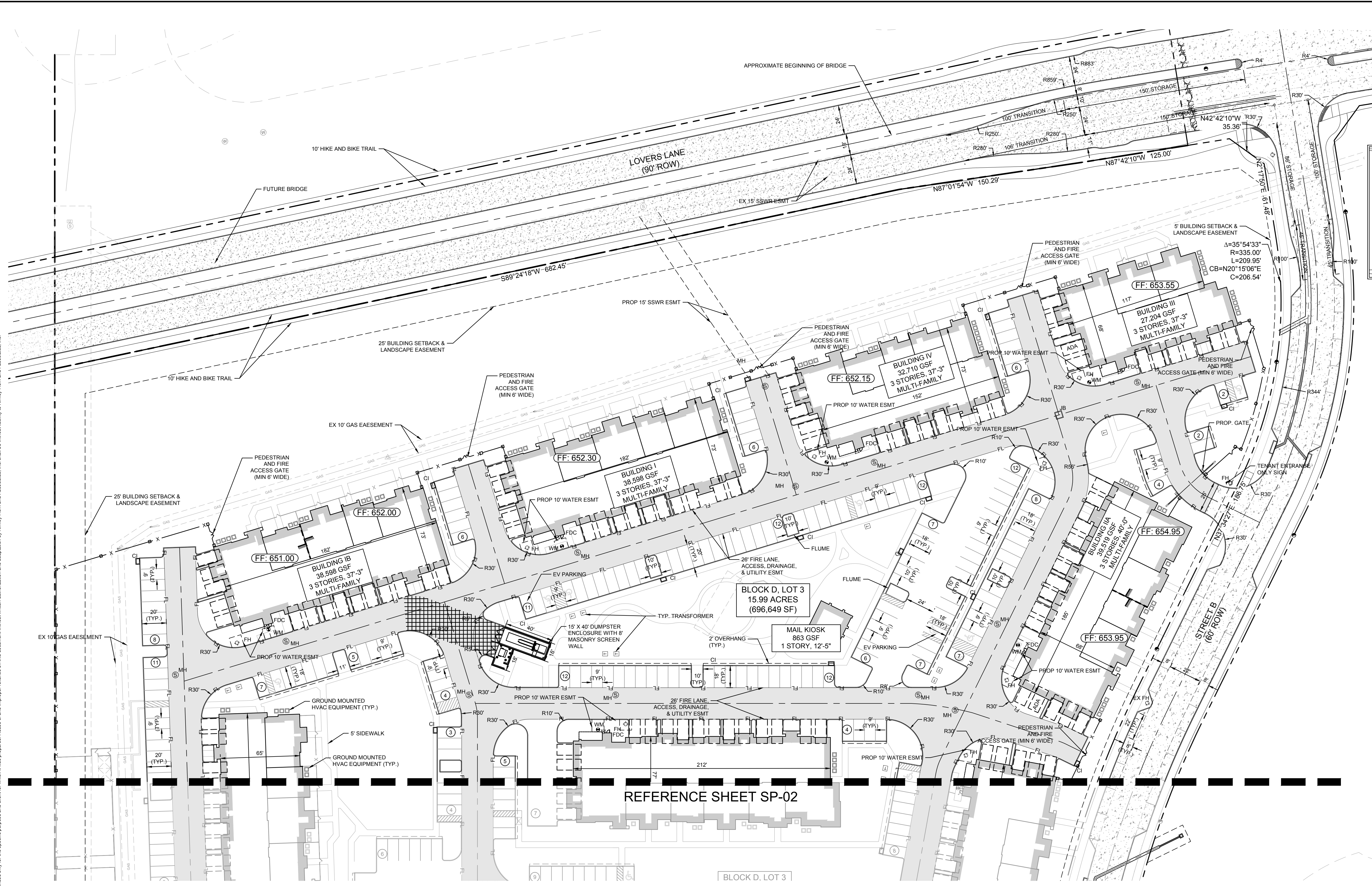
**GATES OF PROSPER MULTIFAMILY PHASE 2**  
PROSPER, TEXAS

**SITE PLAN**

SHEET NUMBER  
**SP-01**

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 Project No. 064508525  
 Date: 12/24/2023  
 Drawn by: KEM  
 Checked by: RAK  
 Scale: AS SHOWN  
 Date: 12/24/2023





VICINITY MAP  
N.T.S.

**LEGEND**

[Symbol]	PROPOSED FIRE LANE
[Symbol]	PROPOSED INFRASTRUCTURE PAVEMENT
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONTOUR - MAJOR
[Symbol]	PROPOSED CONTOUR - MINOR
[Symbol]	EXISTING CONTOUR - MAJOR
[Symbol]	EXISTING CONTOUR - MINOR
[Symbol]	BARRIER FREE RAMP (BFR)
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[Symbol]	CURB INLET
[Symbol]	JUNCTION BOX OR WYE INLET
[Symbol]	HEADWALL
[Symbol]	TYPICAL
[Symbol]	SANITARY SEWER EASEMENT
[Symbol]	WE
[Symbol]	DRAINAGE EASEMENT
[Symbol]	BFR
[Symbol]	SW
[Symbol]	BL
[Symbol]	CI
[Symbol]	GI
[Symbol]	WI
[Symbol]	JB
[Symbol]	MH
[Symbol]	EX
[Symbol]	PROPOSED

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- IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
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**FIRE PROTECTION NOTE:**

- 150' HOSE LAY REQUIREMENT HAS BEEN CONCEDED FOR THE FOLLOWING:
  - LEASING OFFICE AND POOL AREA
  - BUILDING #9
- PAIR OF 3'-0" MAN GATES SHALL BE INSTALLED AS SHOWN ON THIS DRAWING
- THE PROPERTY SHALL HAVE THREE ACCESS-CONTROLLED VEHICLE GATES AS SHOWN ON THIS DRAWING
- BUILDINGS SHALL BE PROTECTED WITH SPRINKLER SUPPRESSION AND STANDPIPE SYSTEMS COMPLIANT WITH
  - NFPA 13 - CURRENT EDITION (LEASING, BLDGS 1, 2, 5, 6, 7, 9, AND 10)
  - NFPA 13R - CURRENT EDITION (BLDGS 3, 4, AND 8)
  - THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW
- ALL RESIDENTIAL BUILDINGS SHALL BE PROTECTED WITH STANDPIPE SYSTEMS COMPLIANT WITH
  - NFPA 14 - CURRENT EDITION
  - PROSPER ORDINANCE 18-95, SECTION 905.3.9 & 905.3.9.1
  - THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW
- ALL RISER ROOMS SHALL BE 36 S.F WITH ALL WALLS A MINIMUM OF 6" LONG

**PRELIMINARY SITE PLAN**  
**GATES OF PROSPER - PHASE 2 MF**  
**BLOCK D, LOT 3**  
**DEVAPP-23-0162**  
*Being 15.99 Acres Out Of The*  
**COLLIN COUNTY SCHOOL NO. 12 SURVEY**  
*Abstract No. 147*  
**BEN RENSON SURVEY Abstract No. 755**  
*Town of Prosper, Collin County, Texas*  
**Submitted: SEPTEMBER 5, 2023**

**Owner:**  
 380 & 289 LP  
 1 Cowboys Way  
 Frisco, Texas 75034  
 Contact: Nicholas Link  
 Phone: (972)-497-4854

**Owner:**  
 183 Land Corporation Inc.  
 1 Cowboys Way  
 Frisco, Texas 75034  
 Contact: Nicholas Link  
 Phone: (972)-497-4854

**Engineer/Surveyor:**  
 Kimley-Horn and Associates, Inc.  
 260 East Davis Street Suite 100  
 McKinney, Texas 75069  
 Contact: Rachel Korus, P.E.  
 Phone: (469)-301-2594

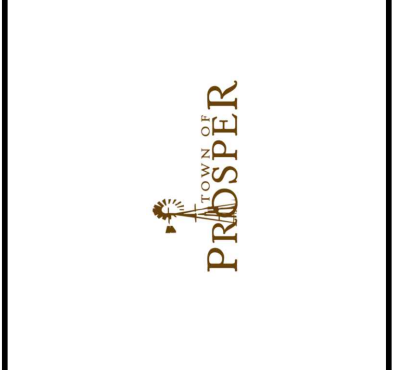
NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069  
 PHONE: 469-301-2590 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction or permit purposes.  
**Kimley»Horn**  
 Engineer: RACHEL A. KORUS  
 P.E. No. 132468 Date: 12/04/2023

KHA PROJECT	064508525	DATE	12/06/2023	SCALE	AS SHOWN	RAK	KEW	RAK
DESIGNED BY		DRAWN BY		CHECKED BY				

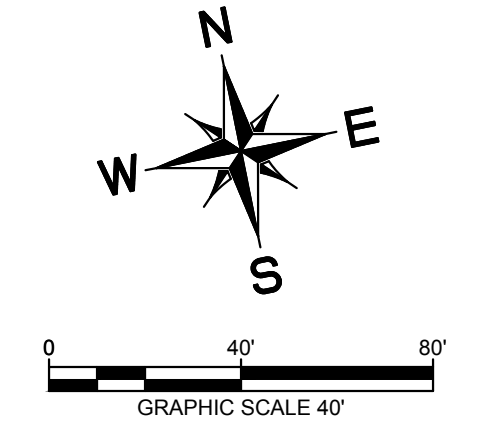
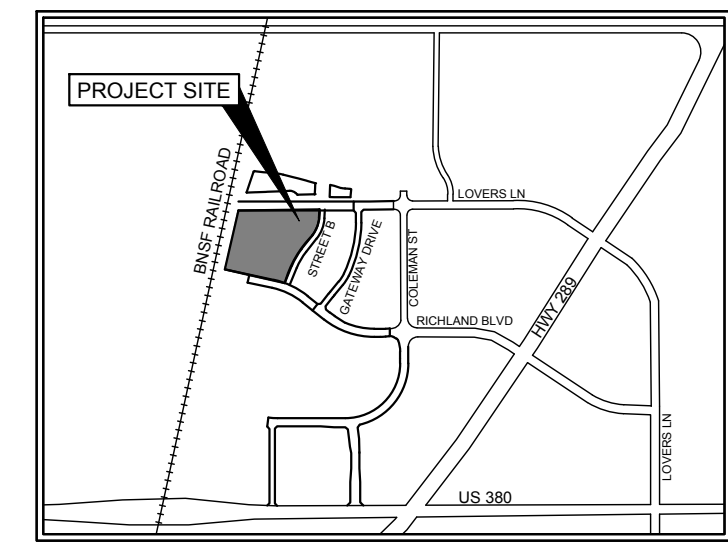
**GATES OF PROSPER MULTIFAMILY PHASE 2**  
 PROSPER, TEXAS



**SITE PLAN**  
 SHEET NUMBER  
**SP-03**

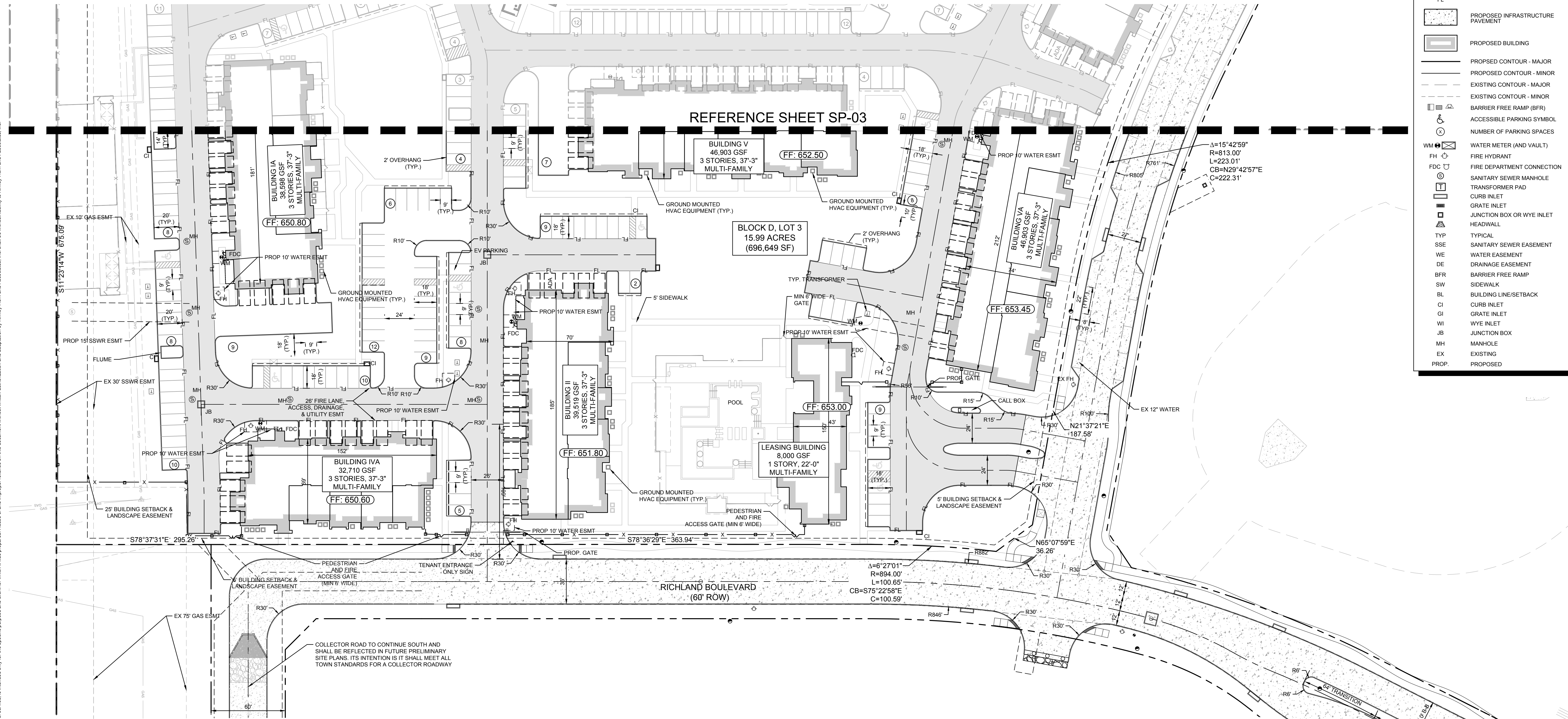
Drawn by: Rachel Korus, P.E. (12/06/2023)  
 Checked by: Nicholas Link (12/06/2023)  
 Title: PRELIMINARY SITE PLAN  
 Project: GATES OF PROSPER MULTIFAMILY PHASE 2  
 Location: 260 East Davis Street, Suite 100, McKinney, TX 75069  
 Date: 12/06/2023  
 Scale: AS SHOWN  
 Drawing No.: SP-03





**LEGEND**

	PROPOSED FIRE LANE
	PROPOSED INFRASTRUCTURE PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONTOUR - MAJOR
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
	WATER METER (AND VAULT)
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
	TRANSFORMER PAD
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
	TYPICAL
	SANITARY SEWER EASEMENT
	WATER EASEMENT
	DRAINAGE EASEMENT
	BARRIER FREE RAMP
	SIDEWALK
	BUILDING LINE/SETBACK
	CURBS INLET
	GRATE INLET
	WYE INLET
	JUNCTION BOX
	MANHOLE
	EXISTING
	PROPOSED



**REFERENCE SHEET SP-03**

**NOTES**

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
1. ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
  2. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
  3. ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
  4. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  5. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  6. IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  7. THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING AND ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING AND ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
  8. OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION POND.

- FIRE PROTECTION NOTE:**
1. 150' HOSE LAY REQUIREMENT HAS BEEN CONCEDED FOR THE FOLLOWING:
    - 1.1. LEASING OFFICE AND POOL AREA
    - 1.2. BUILDING #9
    - 1.3. PAIR OF 3'-0" MAN GATES SHALL BE INSTALLED AS SHOWN ON THIS DRAWING
  2. THE PROPERTY SHALL HAVE THREE ACCESS-CONTROLLED VEHICLE GATES AS SHOWN ON THIS DRAWING
  3. BUILDINGS SHALL BE PROTECTED WITH SPRINKLER SUPPRESSION AND STANDPIPE SYSTEMS COMPLIANT WITH
    - 4.1. NFPA 13 - CURRENT EDITION (LEASING, BLDGS 1, 2, 5, 6, 7, 9, AND 10)
    - 4.2. NFPA 13R - CURRENT EDITION (BLDGS 3, 4, AND 8)
    - 4.3. THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW
  4. ALL RESIDENTIAL BUILDINGS SHALL BE PROTECTED WITH STANDPIPE SYSTEMS COMPLIANT WITH
    - 5.1. NFPA 14 - CURRENT EDITION
    - 5.2. PROSPER ORDINANCE 18-95, SECTION 905.3.9 & 905.3.9.1
    - 5.3. THE CHOSEN SPRINKLER SUPPRESSION SYSTEM CONTRACTOR SHALL DESIGN THE SYSTEM FOR SUBMITTAL AND REVIEW
  5. ALL RISER ROOMS SHALL BE 36 S.F WITH ALL WALLS A MINIMUM OF 6' LONG

- NOTE:**
1. ALL OPEN SPACE AND LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN PD-67.
  2. LOT MUST CONFORM TO ALL REQUIREMENTS OUTLINED IN PD-67 AND ZONING ORDINANCE #05-20.
  3. ALL DIMENSIONS PROVIDED ARE FROM THE FACE OF CURB.

Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. if the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and delineation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**Kimley-Horn**

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 PHONE: 469-301-2560 FAX: 972-239-8320  
 WWW.KIMLEY-HORN.COM TX F-928

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**PRELIMINARY**

FOR REVIEW ONLY  
Not for construction or permit purposes.

Engine: RACHEL A. KORUS  
 P.E. No. 132468 Date: 12/04/2023

KHA PROJECT 064508525	DATE 12/06/2023	SCALE AS SHOWN	DESIGNED BY RAK
			DRAWN BY KEM
			CHECKED BY RAK

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**GATES OF PROSPER MULTIFAMILY PHASE 2**

PROSPER, TEXAS

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**SITE PLAN**

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SHEET NUMBER  
**SP-02**





## PLANNING

**To:** Planning & Zoning Commission  
**From:** Dakari Hill, Senior Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Planning & Zoning Commission Meeting – April 23, 2024

**Item No. 3i**

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**Agenda Item:**

Consider and act upon a request for a Final Plat of Gates of Prosper, Phase 2, Block D, Lot 3, on 16.0± acres, located on the northwest corner of Bravo Way and Richland Boulevard. (DEVAPP-23-0211)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as the Town Center District.

**Zoning:**

The property is zoned Planned Development-67 (Mixed-Use).

**Conformance:**

The Final Plat conforms to the development standards of Planned Development-67.

**Description of Agenda Item:**

The purpose of this Final Plat is to allow for development on Lot 3 by platting necessary easements.

**Companion Item:**

As companion items, the Site Plan (DEVAPP-23-0210) and Façade Plan (DEVAPP-23-0212) are on this Planning & Zoning Commission agenda.

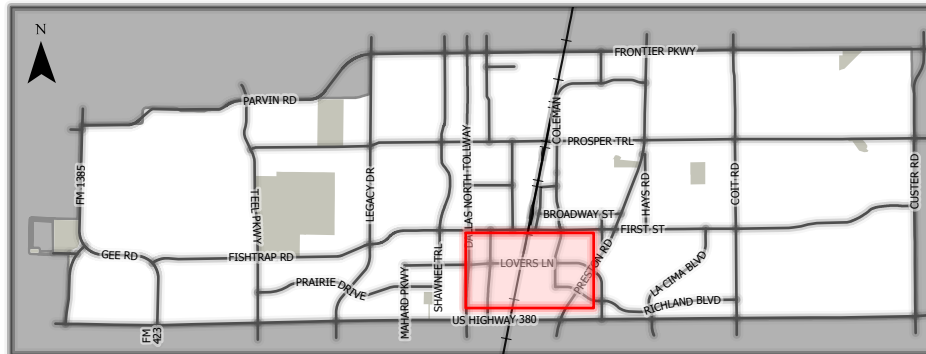
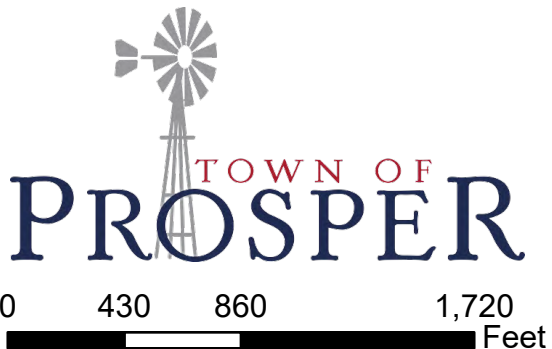
**Attached Documents:**

1. Location Map
2. Final Plat

**Town Staff Recommendation:**

Town Staff recommends approval of the Final Plat.





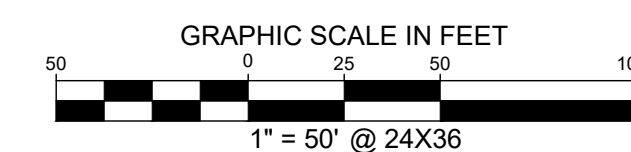
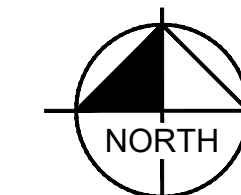
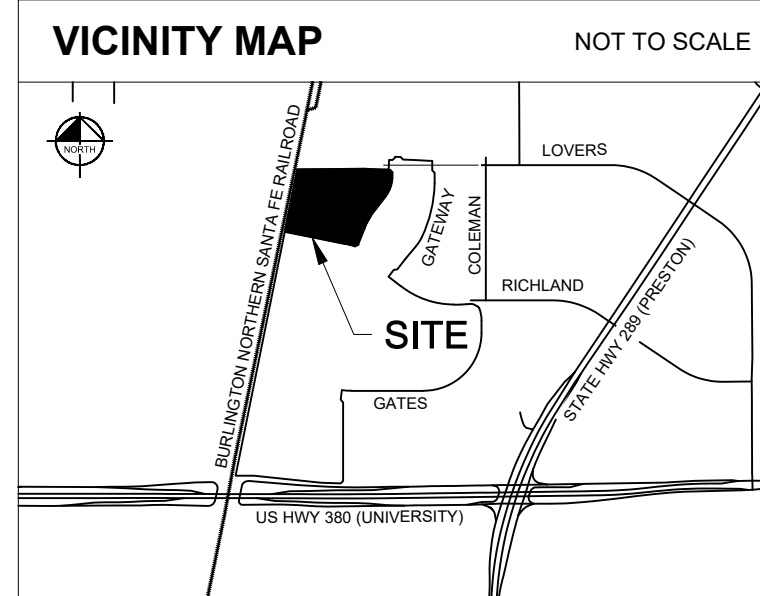
**DEVAPP-23-0211**  
 Gates of Prosper, Phase 2  
 Block D Lot 3

69

Final Plat

This map for illustration purposes only





**NOTES:**

- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
- Bearing system based on the southerly right of way line of Lovers Lane as created in the Conveyance Plat of Gates of Prosper, Phase 2, an addition to the Town of Prosper, according to the plat, recorded in Volume 2019, Page 252 of the Map Records of Collin County, Texas, said bearing being North 90°00'00" East.
- According to Map No. 48085C0235 dated June 2, 2009, of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is located in Zone X (unshaded) and is not within a special flood hazard area. If this site is within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
- Notice: Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
- The purpose of this final plat is to create easements for site development.

**LEGEND**

Symbol	Description
---	BOUNDARY LINE
---	EASEMENT LINE
---	PROPERTY LINE
ADP	ALUMINUM DISK MONUMENT FOUND
IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND WITH CAP
IRSC	IRON ROD SET WITH CAP
TDOT	TEXAS DEPARTMENT OF TRANSPORTATION
VF	"V" CUT FOUND
XF	"X" CUT FOUND
XS	"X" CUT SET
C.C.#	COUNTY CLERK FILE NUMBER
D.R.C.C.T.	DEED RECORDS OF COLLIN COUNTY, TEXAS
P.R.C.C.T.	PLAT RECORDS OF COLLIN COUNTY, TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
B.S.L.E.	BUILDING SETBACK LINE & UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
F.A.U.D.E.	FIRELANE, ACCESS, DRAINAGE & UTILITY EASEMENT
H.B.T.E.	HIKE & BIKE TRAIL EASEMENT
L.P.A.E.	LANDSCAPE & PUBLIC ACCESS EASEMENT
S.E.	STREET EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
U.E.	UTILITY EASEMENT
W.E.	WATER EASEMENT

**FINAL PLAT  
GATES OF PROSPER, PHASE 2  
BLOCK D LOT 3**  
AN ADDITION TO THE TOWN OF PROSPER  
PD-67  
15.993 ACRES

SITUATED IN THE  
COLLIN COUNTY SCHOOL LAND NO. 12 SURVEY, ABSTRACT  
NO. 147, & THE JOHN YARNELL SURVEY, ABSTRACT NO. 1038  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

JANUARY - 2024  
DEVAPP-23-0211

**Kimley»Horn**

6160 Warren Parkway, Suite 210  
Firm # 10193822  
Frisco, Texas 75034  
Tel. No. (972) 335-3580  
Fax No. (972) 335-3779

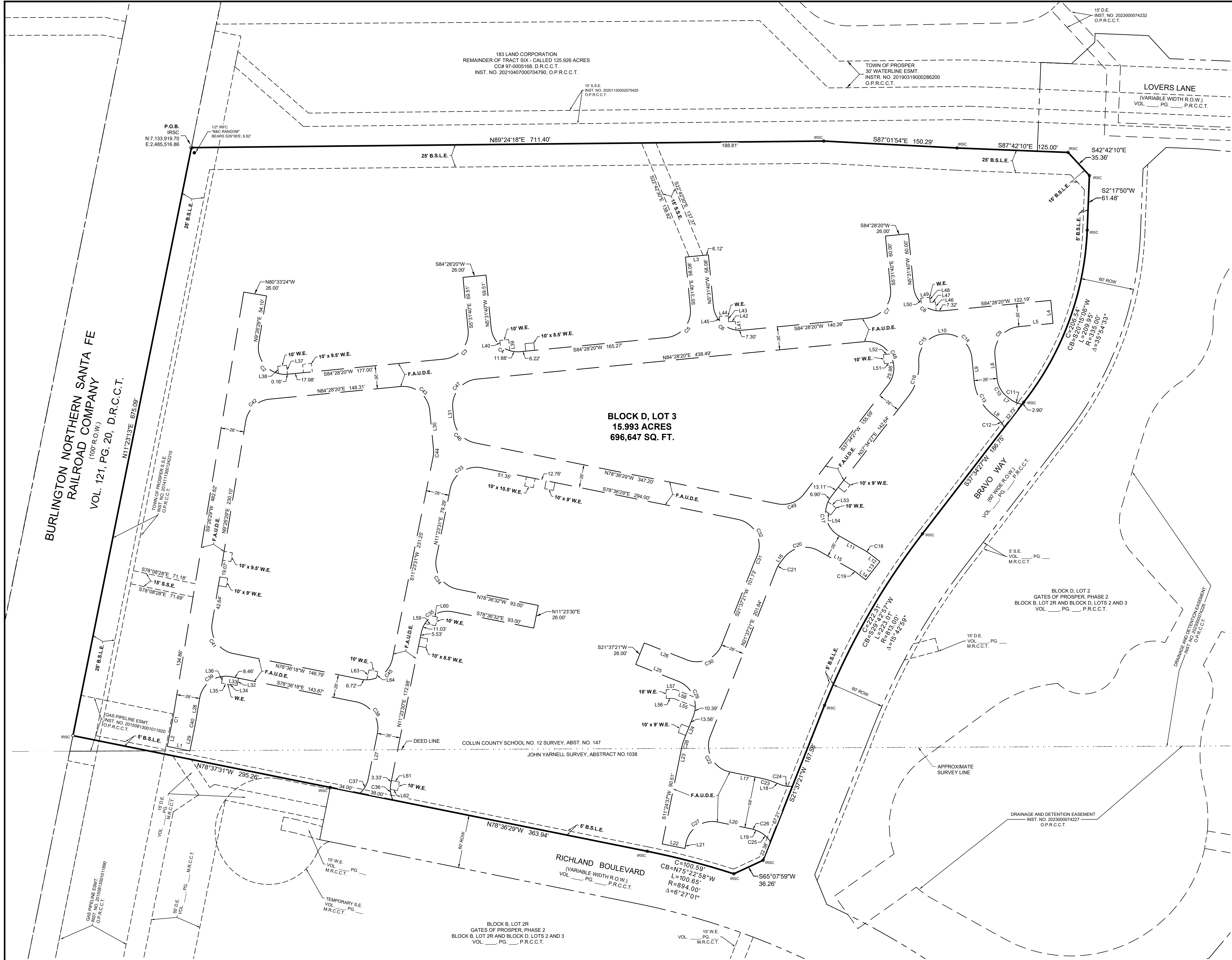
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 50'	JMH	KHA	01/25/2024	068109030	1 OF 2

**SURVEYOR:**  
Kimley-Horn and Associates, Inc.  
6160 Warren Parkway, Suite 210  
Frisco, TX 75034  
P (972) 335-3580  
F (972) 335-3779  
Contact: Michael B. Marx, R.P.L.S.

**ENGINEER:**  
Kimley-Horn and Associates, Inc.  
260 East Davis Street, Suite 100  
McKinney, TX 75069  
P (469) 301-2580  
Contact: Rachel Korus, P.E.

**OWNER:**  
289 (Preston) & 380, L.P.  
1 Cowboys Way  
Frisco, TX 75063  
Contact: Tom Walker,  
Assistant Treasurer

**OWNER:**  
183 Land Corporation  
1 Cowboys Way  
Frisco, TX 75063  
Contact: Tom Walker,  
Assistant Treasurer



**BLOCK D, LOT 3  
15.993 ACRES  
696,647 SQ. FT.**

BLOCK B, LOT 2R  
GATES OF PROSPER, PHASE 2  
BLOCK B, LOT 2R AND BLOCK D, LOTS 2 AND 3  
VOL. \_\_, PG. \_\_, P.R.C.C.T.

**RICHLAND BOULEVARD**  
(VARIABLE WIDTH R.O.W.)  
VOL. \_\_, PG. \_\_, P.R.C.C.T.

DRAINAGE AND DETENTION EASEMENT  
— INST. NO. 202300074227  
O.P.R.C.C.T.

BLOCK D, LOT 2  
GATES OF PROSPER, PHASE 2  
BLOCK B, LOT 2R AND BLOCK D, LOTS 2 AND 3  
VOL. \_\_, PG. \_\_, P.R.C.C.T.

JOHN YARNELL SURVEY, ABSTRACT NO. 1038

COLLIN COUNTY SCHOOL NO. 12 SURVEY, ABST. NO. 147

GAS PIPELINE ESMT.  
— INST. NO. 20150813091911920  
10 P.R.C.C.T.

GAS PIPELINE ESMT.  
— INST. NO. 20150813091911920  
10 P.R.C.C.T.

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15' W.E.  
VOL. \_\_, PG. \_\_, M.R.C.C.T.

15' D.E



OWNER'S CERTIFICATE

STATE OF TEXAS §

COUNTY OF COLLIN §

WHEREAS, 289 (PRESTON) & 380, L.P., and 183 Land Corporation are the owners of a tract of land situated in the Collin County School Land No. 12 Survey, Abstract No.147, and the John Yarnell Survey, Abstract No. 1038, all of the Town of Prosper, Collin County, Texas and being all of Block D, Lot 3, Gates of Prosper, Phase 2, Block B, Lot 2R and Block D, Lots 2 and 3, an addition to the Town of Prosper, Texas, according to the plat thereof recorded in Volume \_\_\_\_\_, Page \_\_\_\_\_, Plat Records, Collin County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the northwest corner of said Lot 3, same being on the westerly line of a called 125.928-acre tract of land described as Tract Six in a deed to 183 Land Corporation, recorded in County Clerk File No. 97-0005168, Deed Records, Collin County, Texas and in Instrument No. 20210407000704790, Official Public Records, Collin County, Texas, same also being on the westerly line of a 100' wide right-of-way to the Burlington Northern Santa Fe Railroad Company, recorded in Volume 121, Page 20, Deed Records, Collin County, Texas;

THENCE along the northerly line of said Lot 3 the following courses and distances:

North 89°24'18" East, a distance of 711.40 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

South 87°01'54" East, a distance of 150.29 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

South 87°42'10" East, passing at a distance of 90.32 feet the south corner of the current westerly terminus of Lovers Lane (variable width public right-of-way)(Volume \_\_\_\_\_, Page \_\_\_\_\_, said Plat Records), and continuing along the same distance and along the common line of said Lot 3 and said Lovers Lane, for a total distance of 125.00 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the northernmost northeast corner of said Lot 3, common to the north corner of a corner clip at the intersection of the southerly right-of-way line of said Lovers Lane and the westerly right-of-way line of \_\_\_\_\_ (60' wide public right-of-way)(Volume \_\_\_\_\_, Page \_\_\_\_\_, said Plat Records);

THENCE South 42°42'10" East, along said corner clip, a distance of 35.36 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the south corner of said corner clip;

THENCE along the common line of said Lot 3 and said \_\_\_\_\_ the following courses and distances:

South 02°17'50" West, a distance of 61.48 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the beginning of a tangent curve to the right with a radius of 335.00 feet, a central angle of 35°54'33", and a chord bearing and distance of South 20°15'06" West, 206.54 feet;

In a southerly direction, with said tangent curve to the right, an arc distance of 209.95 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

South 37°34'27" West, a distance of 186.75 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the beginning of a tangent curve to the left with a radius of 813.00 feet, a central angle of 15°42'59", and a chord bearing and distance of South 29°42'57" West, 222.31 feet;

In a southerly direction, with said tangent curve to the left, an arc distance of 223.01 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

South 21°37'21" West, a distance of 187.58 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the easternmost southeast corner of said Lot 3, common to the north corner of a corner clip at the intersection of the westerly right-of-way line of said \_\_\_\_\_ and the northerly right-of-way line of Richland Boulevard (variable width public right-of-way)(Volume \_\_\_\_\_, Page \_\_\_\_\_, said Plat Records);

THENCE South 65°07'59" West, along said corner clip, a distance of 36.26 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the south corner of said corner clip, same being at the beginning of a non-tangent curve to the left with a radius of 894.00 feet, a central angle of 06°27'01", and a chord bearing and distance of North 75°22'58" West, 100.59 feet;

THENCE in a westerly direction, along the common line of said Lot 3 and said Richland Boulevard and with said non-tangent curve to the left, an arc distance of 100.65 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

THENCE North 78°36'29" West, continuing along said common line, a distance of 363.94 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the north corner of the current westerly terminus of said Richland Boulevard, same being on the northerly line of Block B, Lot 2R, said Gates of Prosper, Phase 2, Block B, Lot 2R and Block B, Lots 2 and 3;

THENCE North 78°37'31" West, along the common line of said Lots 2R and 3, a distance of 295.26 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the southwest corner of said Lot 3, common to the northwest corner of said Lot 2R, same being on the easterly line of the aforementioned 100' wide Burlington Northern Santa Fe Railroad Company right-of-way;

THENCE North 11°23'13" East, along the common line of said Lot 3 and said 100' wide Burlington Northern Santa Fe Railroad Company right-of-way, a distance of 675.09 feet to the POINT OF BEGINNING and containing 696,647 square feet or 15.993 acres of land, more or less.

Table with 3 columns: LINE TABLE, LINE TABLE, LINE TABLE. Each column has sub-columns for NO., BEARING, LENGTH. Contains 25 rows of survey data.

Table with 2 columns: CURVE TABLE, CURVE TABLE. Each column has sub-columns for NO., DELTA, RADIUS, LENGTH, CHORD BEARING, CHORD. Contains 25 rows of curve data.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WHEREAS, 289 (PRESTON) & 380, L.P., and 183 Land Corporation, acting herein by and through its duly authorized officer, does hereby certify and adopt this revised conveyance plat designating the herein above described property as GATES OF PROSPER, PHASE 2, BLOCK D, LOT 3, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. WHEREAS, 289 (PRESTON) & 380, L.P., and 183 Land Corporation do herein certify the following:

- 1. The streets and alleys are dedicated for street and alley purposes.
2. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
3. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
4. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
5. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
7. The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
8. The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
9. All modifications to this document shall be by means of plat and approved by the Town of Prosper.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas. WITNESS, my hand, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

BY: 289 (PRESTON) & 380, L.P.

Authorized Signature

Tom Walker, Assistant Treasurer

Printed Name and Title

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Tom Walker, Assistant Treasurer, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas

BY: 183 Land Corporation

Authorized Signature

Tom Walker, Assistant Treasurer

Printed Name and Title

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Tom Walker, Assistant Treasurer, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas

SURVEYOR'S CERTIFICATE

Know All Men By These Presents:

That I, Michael B. Marx, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Michael B. Marx
Registered Professional Land Surveyor No. 5181
Kimley-Horn and Associates, Inc.
6160 Warren Pkwy., Suite 210
Frisco, Texas 75034
Phone 972-335-3580
Fax 972-335-3779

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Michael B. Marx, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas

CERTIFICATE OF APPROVAL

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by the Planning & Zoning Commission of the Town of Prosper, Texas.

- Town Secretary
Engineering Department
Development Services Department

FINAL PLAT
GATES OF PROSPER, PHASE 2
BLOCK D LOT 3
AN ADDITION TO THE TOWN OF PROSPER
PD-67
15.993 ACRES

SITUATED IN THE
COLLIN COUNTY SCHOOL LAND NO. 12 SURVEY, ABSTRACT NO. 147, & THE JOHN YARNELL SURVEY, ABSTRACT NO. 1038
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

JANUARY - 2024
DEVAPP-23-0211

Kimley >>> Horn
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
FIRM # 10193822
Tel. No. (972) 335-3580
Fax No. (972) 335-3779

SURVEYOR:
Kimley-Horn and Associates, Inc.
6160 Warren Pkwy., Suite 210
Frisco, TX 75034
P (972) 335-3580
F (972) 335-3779
Contact: Michael B. Marx, R.P.L.S.

ENGINEER:
Kimley-Horn and Associates, Inc.
260 East Davis Street, Suite 100
McKinney, TX 75069
P (469) 301-2580
Contact: Rachel Korus, P.E.

OWNER:
289 (Preston) & 380, L.P.
1 Cowboys Way
Frisco, TX 75063
Contact: Tom Walker, Assistant Treasurer

OWNER:
183 Land Corporation
1 Cowboys Way
Frisco, TX 75063
Contact: Tom Walker, Assistant Treasurer

Table with 6 columns: Scale, Drawn by, Checked by, Date, Project No., Sheet No. Values: N/A, JMH, KHA, 01/25/2024, 068109030, 2 OF 2





## PLANNING

**To:** Planning & Zoning Commission  
**From:** Dakari Hill, Senior Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Planning & Zoning Commission Meeting – April 23, 2024

**Item No. 3j**

---

**Agenda Item:**

Consider and act upon a request for a Façade Plan for Multifamily Buildings and a Leasing Office on Gates of Prosper, Phase 2, Block D, Lot 3, on 16.0± acres, located on the northwest corner of Bravo Way and Richland Boulevard. (DEVAPP-23-0212)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as the Town Center District.

**Zoning:**

The property is zoned Planned Development-67 (Mixed-Use).

**Conformance:**

The Façade Plan conforms to the development standards of Planned Development-67.

**Description of Agenda Item:**

The Façade Plan represents multifamily buildings and a leasing office. Per Planned Development-67, the Façade Plan must be approved by Town Council.

**Companion Item:**

As companion items, the Site Plan (DEVAPP-23-0210) and the Final Plat (DEVAPP-23-0211) are on this Planning & Zoning Commission agenda.

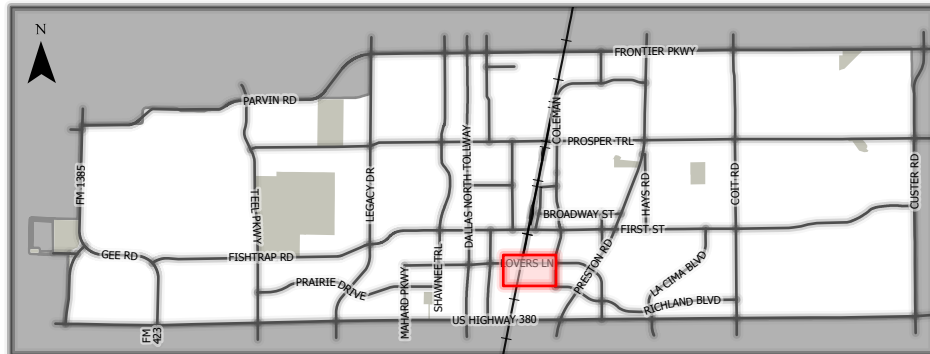
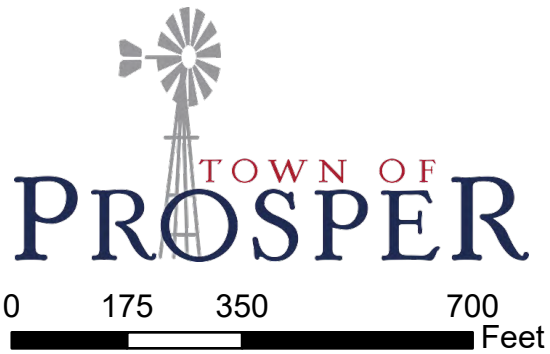
**Attachments:**

1. Location Map
2. Façade Plan

**Town Staff Recommendation:**

Town Staff recommends approval of the Façade Plan.





This map for illustration purposes only

**DEVAPP-23-0212**  
 Gates of Prosper Phase 2  
 MF

Facade Plan





REAL SEAL ONLY # SIGNED AND DATED

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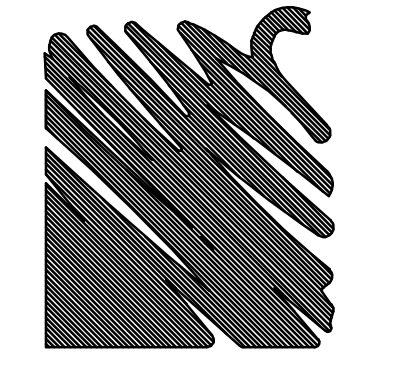
Project No. 23010  
Drawn By:

FAÇADE PLAN:  
APRIL 11, 2024

**LEGAL DESCRIPTION**  
AVERAGES 204 FRESNO # 390, L.P., and 183 Land Survey, Block 1, Lot 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

**Gates of Prosper Multifamily II**  
PROSPER, TX  
**BLUE STAR**

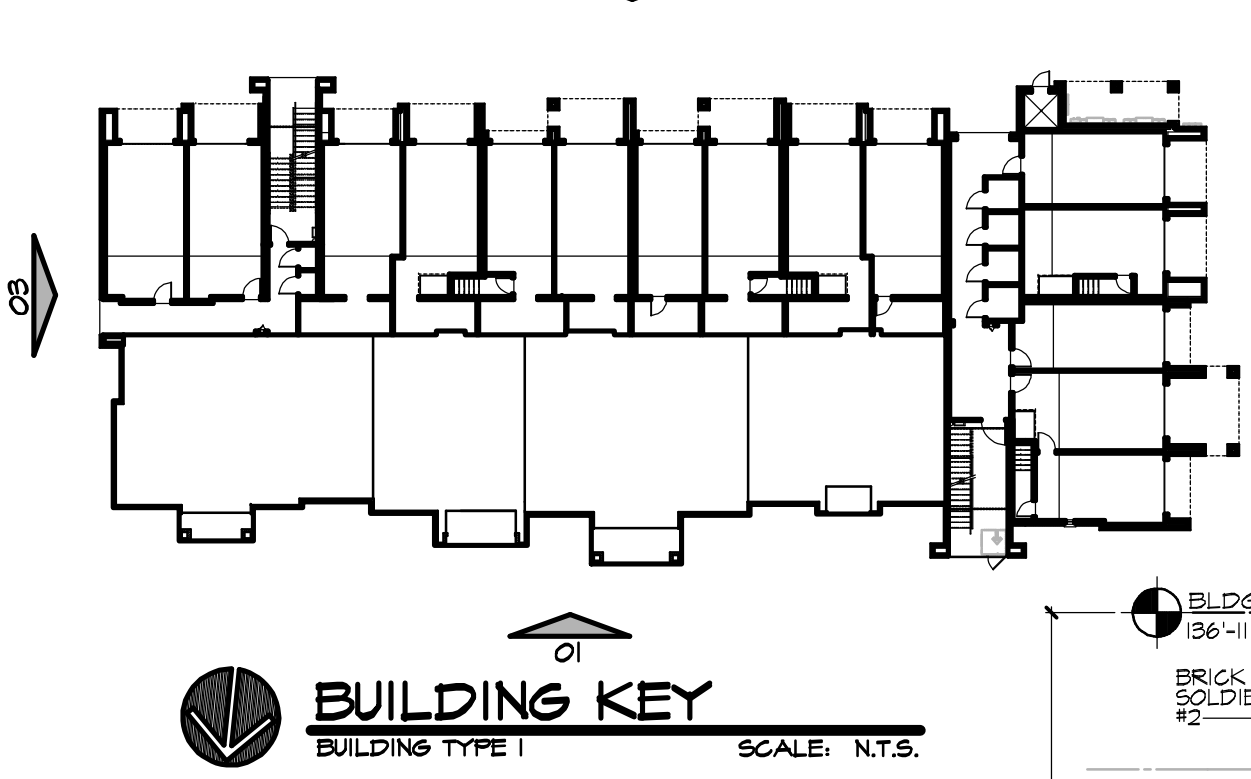
**Womack + Hampton**  
ARCHITECTS, L.L.C.  
4811 Oak Lawn Ave. Suite 50  
Dallas, Texas 75246  
Phone: (214) 222-2000  
Fax: (214) 222-2000



**STANDARD NOTES**  
1. THIS FAÇADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.  
2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE THE SPECIFICATIONS OF THE ZONING ORDINANCE.  
3. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.  
4. ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.  
5. WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.  
6. ANY DEVIATION FROM THE APPROVED FAÇADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

OWNER	APPLICANT	ARCHITECT
BLUE STAR BLOCK 1 LINK 11111 DALLAS COMBOYS BLVD DALLAS, TX 75244 752-441-8884	KIMLEY-HORN KATHY MOZZY MAHLMANN KATHY@KIMLEY-HORN.COM 260 EAST DAVIS STREET, SUITE 100 MC KINNEY, TX 75064 469-948-0400	WOMACK + HAMPTON ARCHITECTS, L.L.C. JASON BEARDS JASON@WOMACKHAMPTON.COM 501 OAK LAWN AVE., SUITE 50 DALLAS, TX 75201 214-222-2000

BUILDING TYPE I SOUTH ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	1282 SF, 18% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	2,611 SF
TOTAL SURFACE AREA	5,584 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	97%
BURNISHED BLOCK + 2.0% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	3%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



BUILDING TYPE I TOTAL ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	8,781 SF
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	15,623 SF
TOTAL SURFACE AREA	24,404 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	96%
BURNISHED BLOCK + 17.1% OF NET S.A. (NO REQUIRED MINIMUM)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	4%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



**04 REAR ELEVATION (SOUTH)**  
BUILDING TYPE I SCALE: 1/8" = 1'-0"

BUILDING TYPE I EAST ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	21 SF, 10% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	1,664 SF
TOTAL SURFACE AREA	2,026 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	94%
BURNISHED BLOCK + 20.1% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	6%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



**03 LEFT ELEVATION (EAST)**  
BUILDING TYPE I SCALE: 1/8" = 1'-0"

BUILDING TYPE I WEST ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	586 SF, 16% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	1,081 SF
TOTAL SURFACE AREA	2,061 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	95%
BURNISHED BLOCK + 20.4% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	5%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



**02 RIGHT ELEVATION (WEST)**  
BUILDING TYPE I SCALE: 1/8" = 1'-0"

BUILDING TYPE I NORTH ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	1,265 SF, 22% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	3,394 SF
TOTAL SURFACE AREA	5,846 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	96%
BURNISHED BLOCK + 26.4% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	4%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



**01 FRONT ELEVATION (NORTH)**  
BUILDING TYPE I SCALE: 1/8" = 1'-0"

GROUND MOUNTED HVAC EQUIPMENT SHALL BE SCREENED WITH LANDSCAPING PER ZONING ORDINANCE

BLOCK D LOT 3 TOWN PROJECT NUMBER: DEVAPP-23-0210









REAL VALUE ONLY # SIGNED AND DATED  
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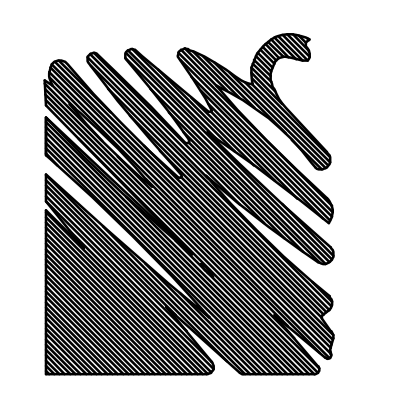
Project No. 28010  
Drawn By:

FAÇADE PLAN:  
APRIL 11, 2024

**LEGAL DESCRIPTION**  
AVERAS 204 PRESSION # 390 L.P. and 183 Land Survey, Subdivided into 10 Lots, Survey No. 0255, filed in the Public Records, Collin County, Texas, and more particularly the portion of Lot 10, Block D, Lots 1001-1010, as shown on the plat of the same, recorded in the Public Records, Collin County, Texas, Book 3, Page 1111, Plat Records, Collin County, Texas.

**Gates of Prosper Multifamily II**  
PROSPER, TX  
**Blue Star**

**Womack + Hampton**  
ARCHITECTS, L.L.C.  
4811 Oak Lawn Avenue, Suite 50  
Dallas, Texas 75246  
Phone: (214) 222-2600  
Fax: (214) 222-2660

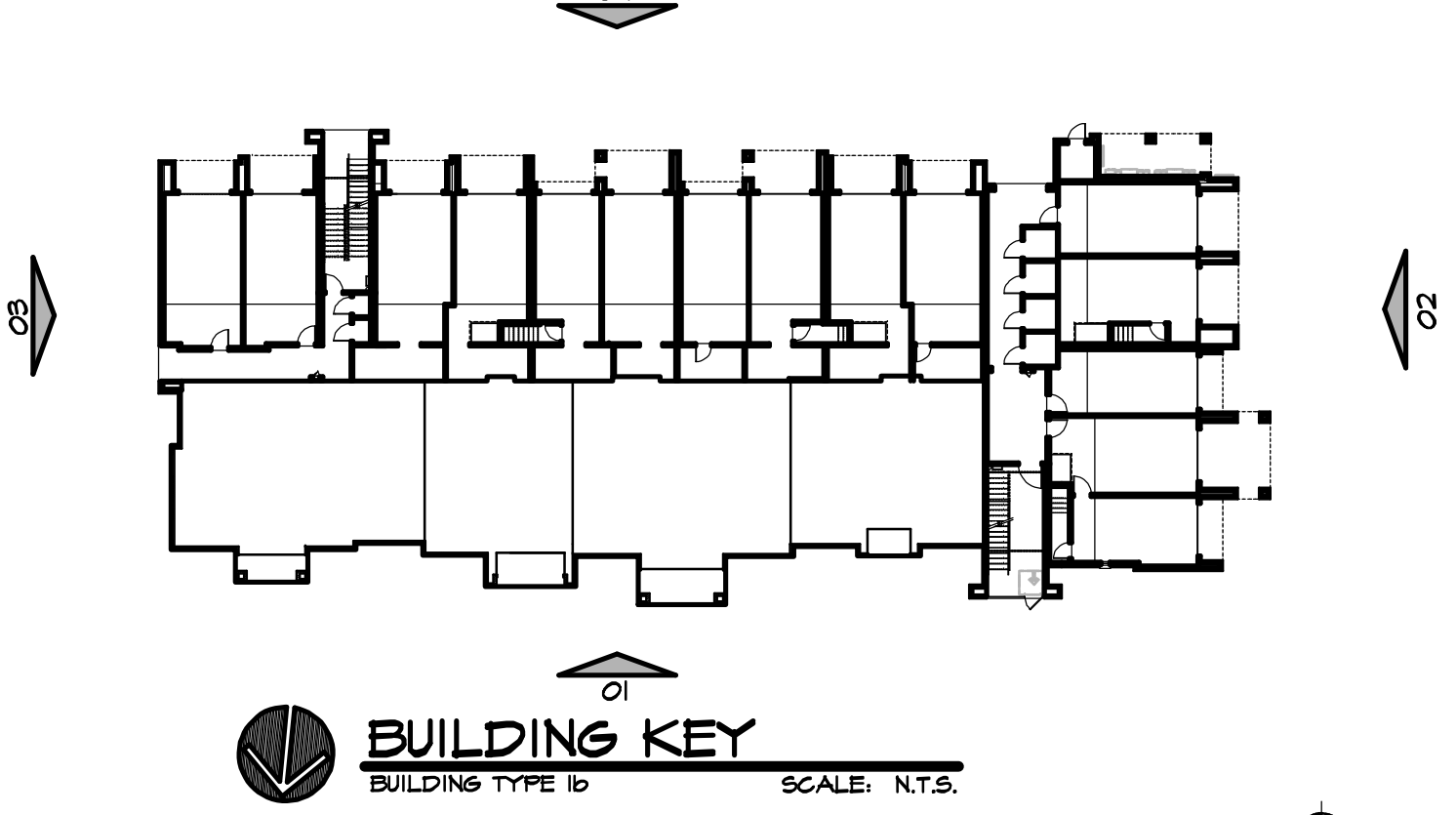


**STANDARD NOTES**

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OWNER	APPLICANT	ARCHITECT
BLUE STAR NICHOLAS LINS NICHOLAS.LINS@COMBOYS.NET 1 COWBOY WAY FRESNO, TX 76844 817-481-4854	KIMLEY-HORN KAITLIN MCGOFF MAHEMANN KAITLIN.MCGOFF@KH-HORN.COM 260 EAST DAVIS STREET, SUITE 100 MCINNEY, TX 75064 469-548-0430	WOMACK + HAMPTON ARCHITECTS, L.L.C. JASON WEARES JASON@WOMACKHAMPTON.COM 201 OAK LAWN AVE, SUITE 50 DALLAS, TX 75246 214-282-0000

BUILDING TYPE 1b SOUTH ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	1032 SF, 18% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	5,913 SF
TOTAL SURFACE AREA	5,913 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	97%
BURNISHED BLOCK + 24% OF NET S.A. (NO REQUIRED MINIMUM)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	3%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



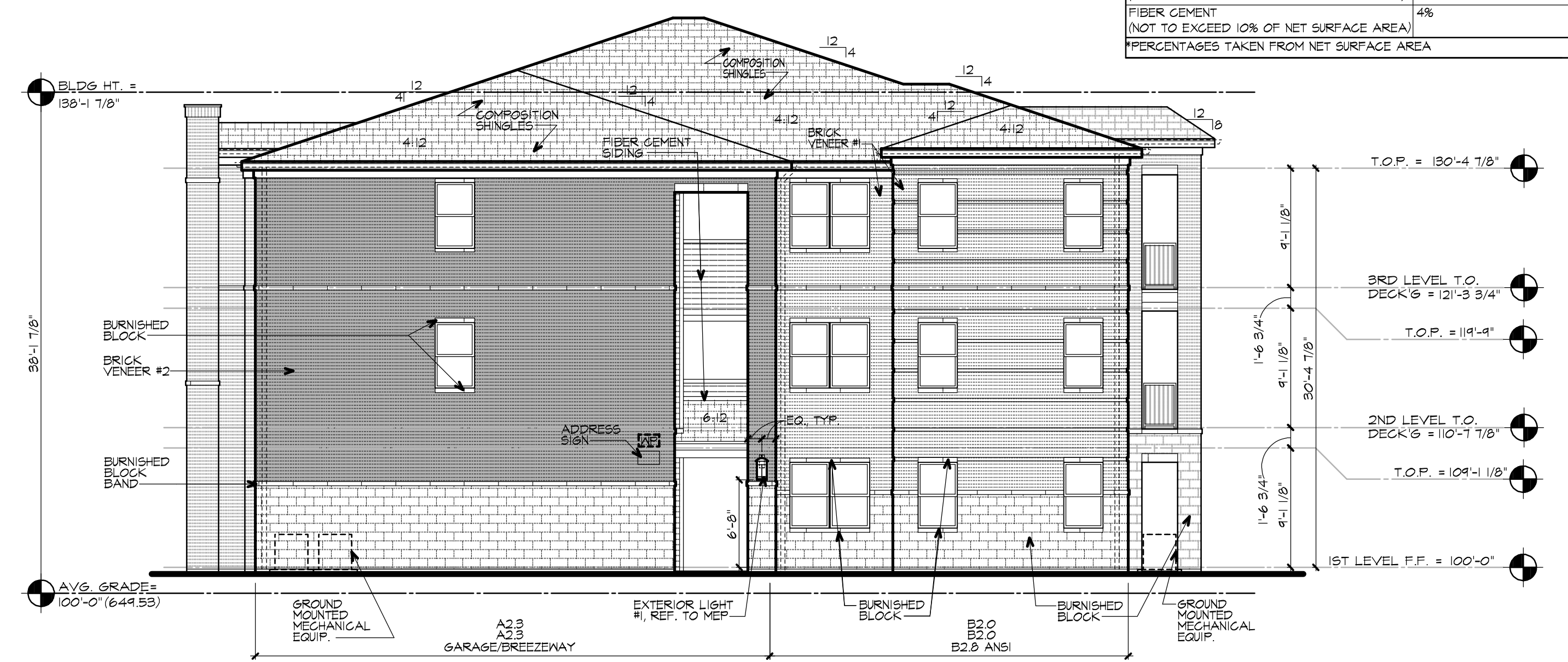
BUILDING TYPE 1b TOTAL ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	2,855 SF, 18% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	4,251 SF
TOTAL SURFACE AREA	15,115 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	97%
BURNISHED BLOCK + 17.2% OF NET S.A. (NO REQUIRED MINIMUM)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	4%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



04 REAR ELEVATION (SOUTH)  
BUILDING TYPE 1b  
SCALE: 1/8" = 1'-0"

BUILDING TYPE 1b EAST ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	211 SF, 10% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	1,664 SF
TOTAL SURFACE AREA	2,236 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	96%
BURNISHED BLOCK + 20.0% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	4%
PERCENTAGES TAKEN FROM NET SURFACE AREA	

BUILDING TYPE 1b WEST ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	336 SF, 16% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	1,029 SF
TOTAL SURFACE AREA	2,134 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	97%
BURNISHED BLOCK + 20.9% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	3%
PERCENTAGES TAKEN FROM NET SURFACE AREA	

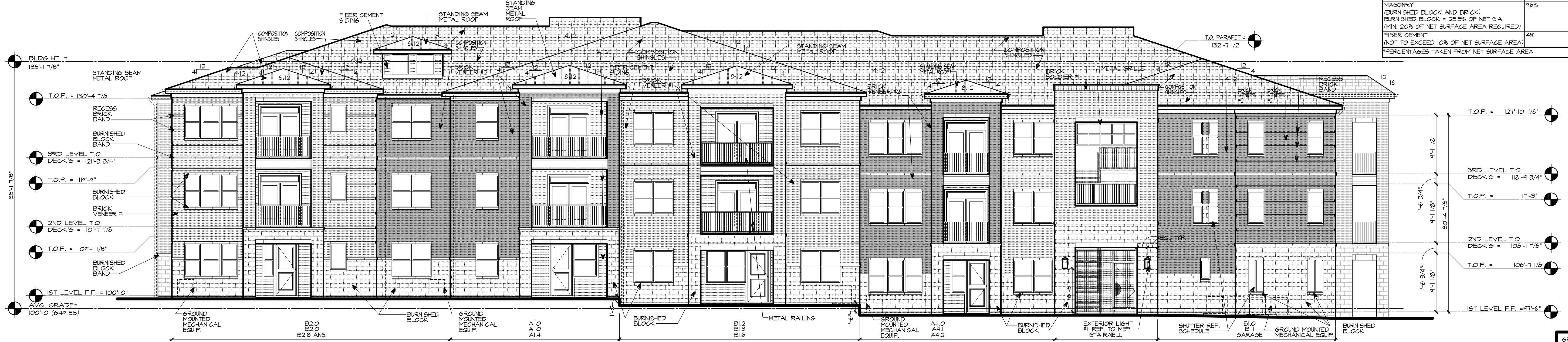


03 LEFT ELEVATION (EAST)  
BUILDING TYPE 1b  
SCALE: 1/8" = 1'-0"



02 RIGHT ELEVATION (WEST)  
BUILDING TYPE 1b  
SCALE: 1/8" = 1'-0"

BUILDING TYPE 1b NORTH ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	1,265 SF, 22% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	9,501 SF
TOTAL SURFACE AREA	5,632 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	96%
BURNISHED BLOCK + 25.9% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	4%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



01 FRONT ELEVATION (NORTH)  
BUILDING TYPE 1b  
SCALE: 1/8" = 1'-0"

GROUND MOUNTED HVAC EQUIPMENT SHALL BE SCREENED AT ALL ANGLES FROM THE ZONING ORDINANCE.

BLOCK D LOT 9  
TOWN PROJECT NUMBER: DEVAPP-23-0210













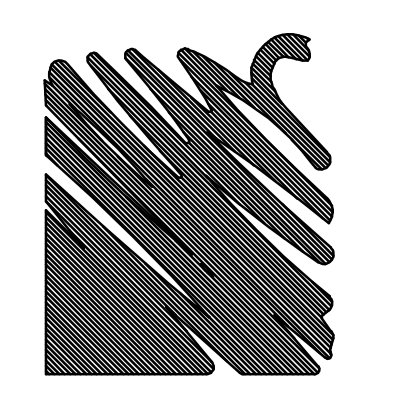
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Project No. 28010  
Drawn By:  
FAÇADE PLAN:  
APRIL 11, 2024

**LEGAL DESCRIPTION**  
AREAS: 2801 PRESSION # 390, L.P., 0.01 183 Land situated in the County of Tarrant, State of Texas, containing 0.01 of the total of 183 acres, more or less, as shown on the plat of the same, recorded in the Public Records of Tarrant County, Texas, Book 10, Page 111, and the same, together with the right and interest therein, to said 0.01 of the total of 183 acres, more or less, as shown on the plat of the same, recorded in the Public Records of Tarrant County, Texas, Book 10, Page 111, and the same, together with the right and interest therein, to said 0.01 of the total of 183 acres, more or less, as shown on the plat of the same, recorded in the Public Records of Tarrant County, Texas, Book 10, Page 111.

**Gates of Prosper Multifamily II**  
PROSPER, TX  
Blue Star logo

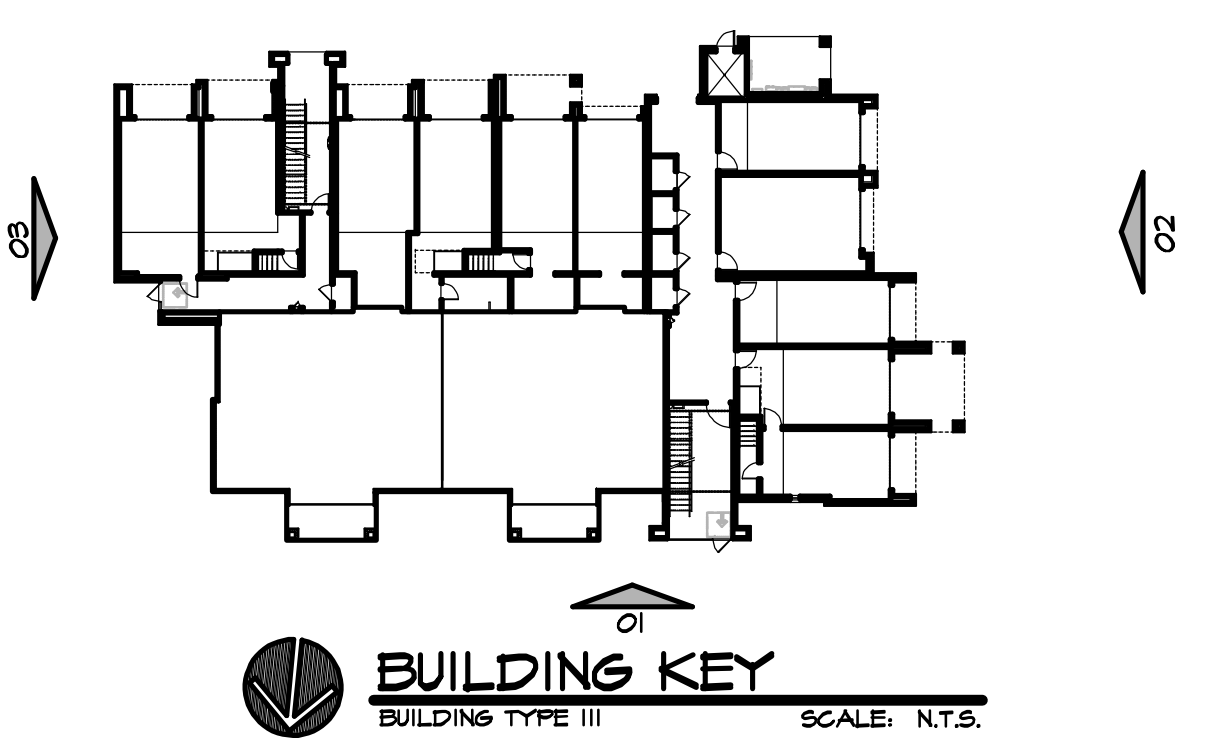
**Womack + Hampton**  
ARCHITECTS, L.L.C.  
1811 Oak Lawn Ave, Suite 500  
Dallas, Texas 75201  
Phone: (214) 221-2200  
Fax: (214) 221-2200



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OWNER	APPLICANT	ARCHITECT
BLUE STAR 1800 W. LIND SUITE 500 1800 W. LIND SUITE 500 FRESNO, TX 76844 412-241-4856	KIMLEY-HORN KATHI WAGG MAHLMAN JASON HEARNS WOMACK + HAMPTON ARCHITECTS, L.L.C. 200 EAST DAVIS STREET, SUITE 100 DALLAS, TX 75201 464-945-0430	WOMACK + HAMPTON ARCHITECTS, L.L.C. JASON HEARNS 200 EAST DAVIS STREET, SUITE 100 DALLAS, TX 75201 214-282-4000

BUILDING TYPE III SOUTH ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.2)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80% (INCLUDES DOORS, WINDOWS, AND BALCONIES))	547 SF, 14% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	1,966 SF
TOTAL SURFACE AREA	13,014 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	41%
BURNISHED BLOCK = 5.8% OF NET S.A. (NO REQUIRED MINIMUM)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	3%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	

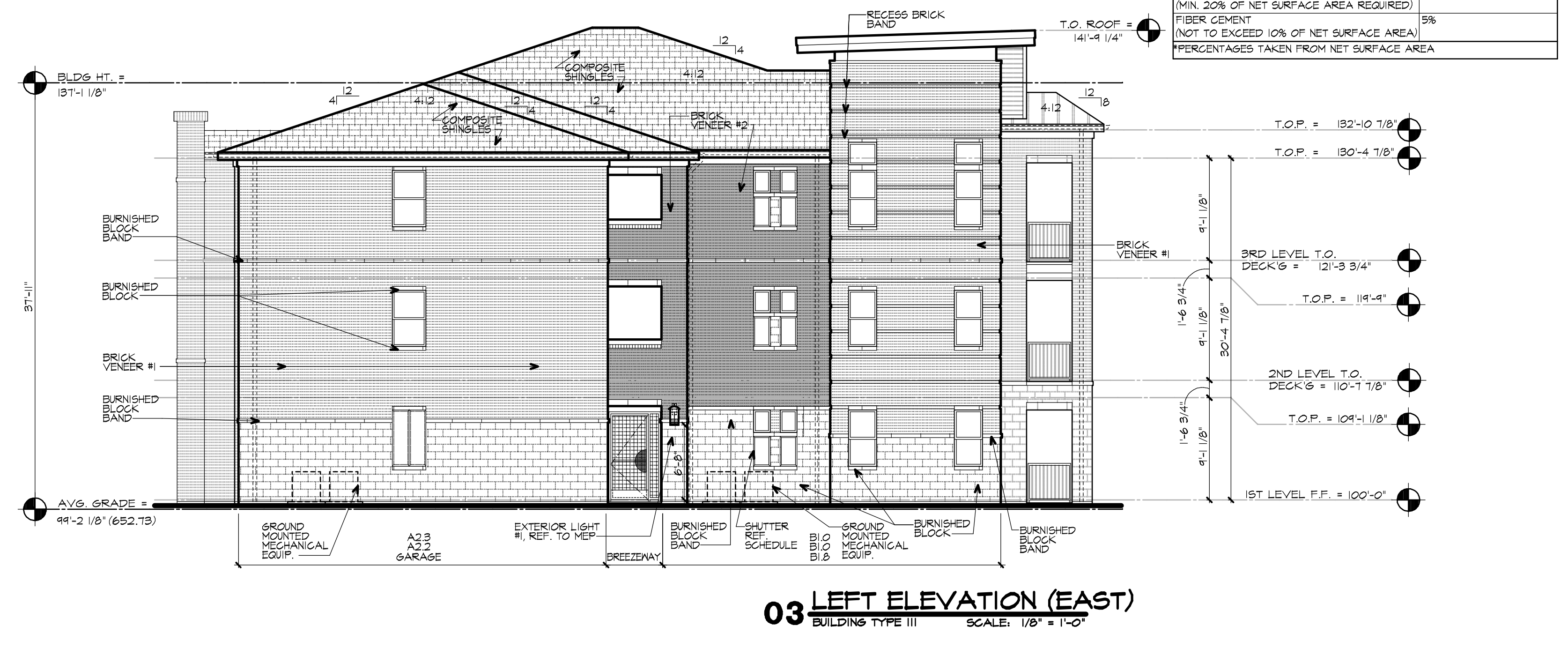


BUILDING TYPE III TOTAL ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.2)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80% (INCLUDES DOORS, WINDOWS, AND BALCONIES))	1,740 SF, 14% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	11,944 SF
TOTAL SURFACE AREA	12,566 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	44%
BURNISHED BLOCK = 17.6% OF NET S.A. (NO REQUIRED MINIMUM)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	6%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



BUILDING TYPE III WEST ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.2)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80% (INCLUDES DOORS, WINDOWS, AND BALCONIES))	247 SF, 13% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	1,952 SF
TOTAL SURFACE AREA	2,326 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	40.1%
BURNISHED BLOCK = 20.3% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	14.8%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	

BUILDING TYPE III EAST ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.2)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80% (INCLUDES DOORS, WINDOWS, AND BALCONIES))	140 SF, 6% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	1,871 SF
TOTAL SURFACE AREA	2,211 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	25%
BURNISHED BLOCK = 20.7% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	5%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



BUILDING TYPE III NORTH ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.2)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80% (INCLUDES DOORS, WINDOWS, AND BALCONIES))	764 SF, 18% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES AND ACCENT MATERIALS)	2,546 SF
TOTAL SURFACE AREA	4,055 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	43%
BURNISHED BLOCK = 25.5% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	7%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



GROUND MOUNTED HVAC EQUIPMENT SHALL BE SCREENED WITH LANDSCAPING PER ZONING ORDINANCE





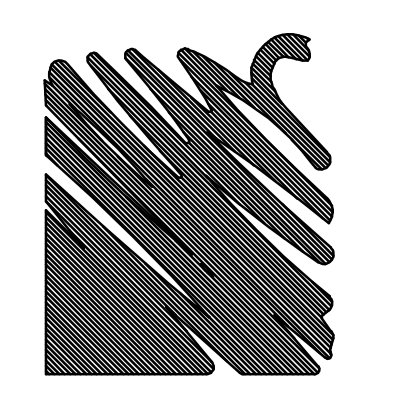
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Project No. 28010  
Drawn By:  
FAÇADE PLAN:  
APRIL 11, 2024

**LEGAL DESCRIPTION**  
AREAS: 2801 PRESSION # 390, L.P., 2801 Land (AREAS 2801 PRESSION # 390, L.P. 2801 Land situated in the County of Tarrant, State of Texas, containing 0.11 of the Town of Prosper, Collier County, Texas, more or less, as shown on Plat No. 2801, Page 3, of the Public Records, Collier County, Texas.

**Gates of Prosper Multifamily II**  
PROSPER, TX  
**Blue Star**

**Womack + Hampton**  
ARCHITECTS, L.L.C.  
4811 Oak Lawn Ave., Suite 50  
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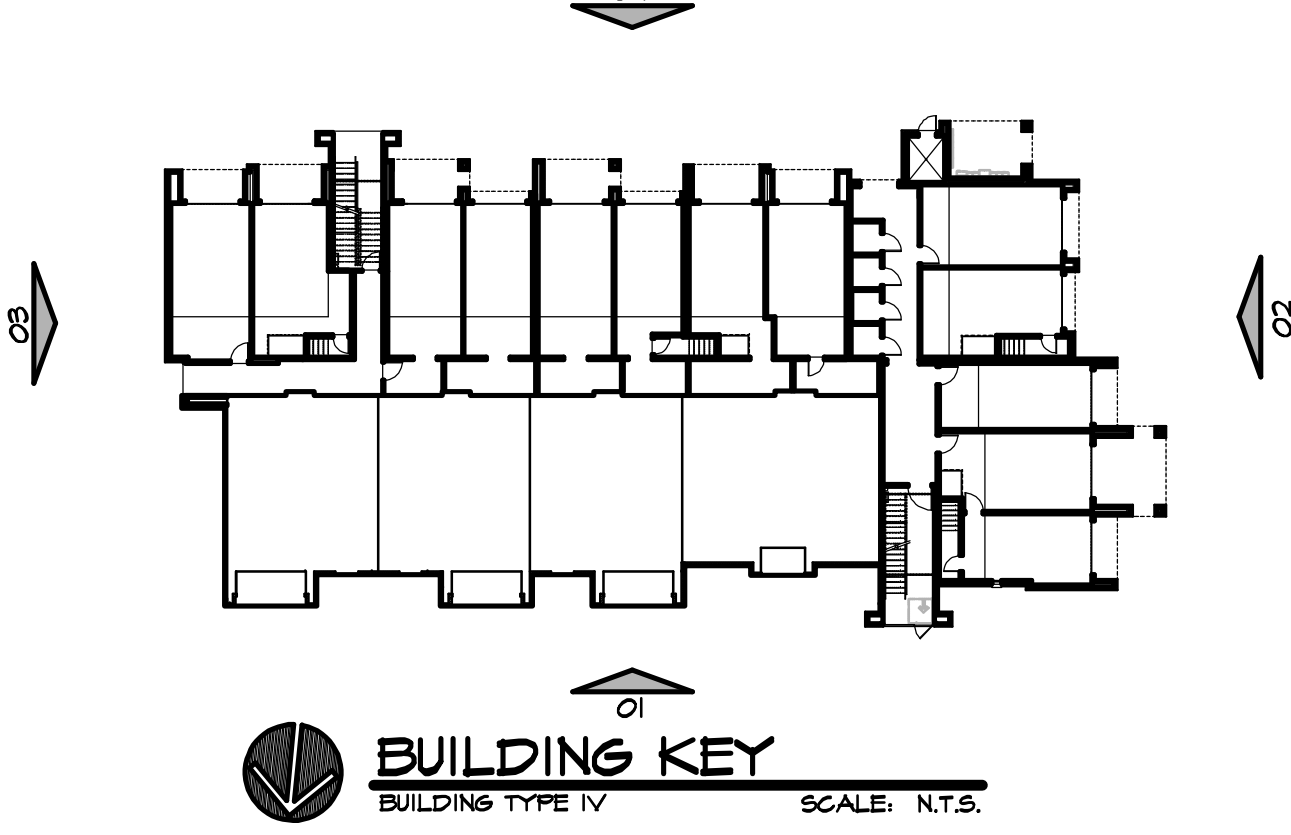


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5. WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.
6. ANY DEVIATION FROM THE APPROVED FAÇADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

OWNER	APPLICANT	ARCHITECT
BLUE STAR NICOLAS LINK LUNEDICAL ASSOCIATION 12000Y PLAY PROSPER, TX 75084 972-481-8854	KIMLEY-HORN KATE N. MCCOY MAHLMAN KATE.N.MCCOY@KIMLEY-HORN.COM 260 EAST DAVIS STREET, SUITE 100 MCANNEY, TX 75064 469-998-0430	WOMACK + HAMPTON ARCHITECTS, L.L.C. JASON MEARES JASON@WOMACKHAMPTON.COM 4911 OAK LAWN AVE., SUITE 50 DALLAS, TX 75246 214-222-2000

BUILDING TYPE IV SOUTH ELEVATION MATERIAL CALCULATIONS (PER PD-41 SECTION 9.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 30%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	844 SF, 18% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	2,295 SF
TOTAL SURFACE AREA	4,821 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	46%
BURNISHED BLOCK + 4% OF NET S.A. (NO REQUIRED MINIMUM)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	4%
PERCENTAGES TAKEN FROM NET SURFACE AREA	

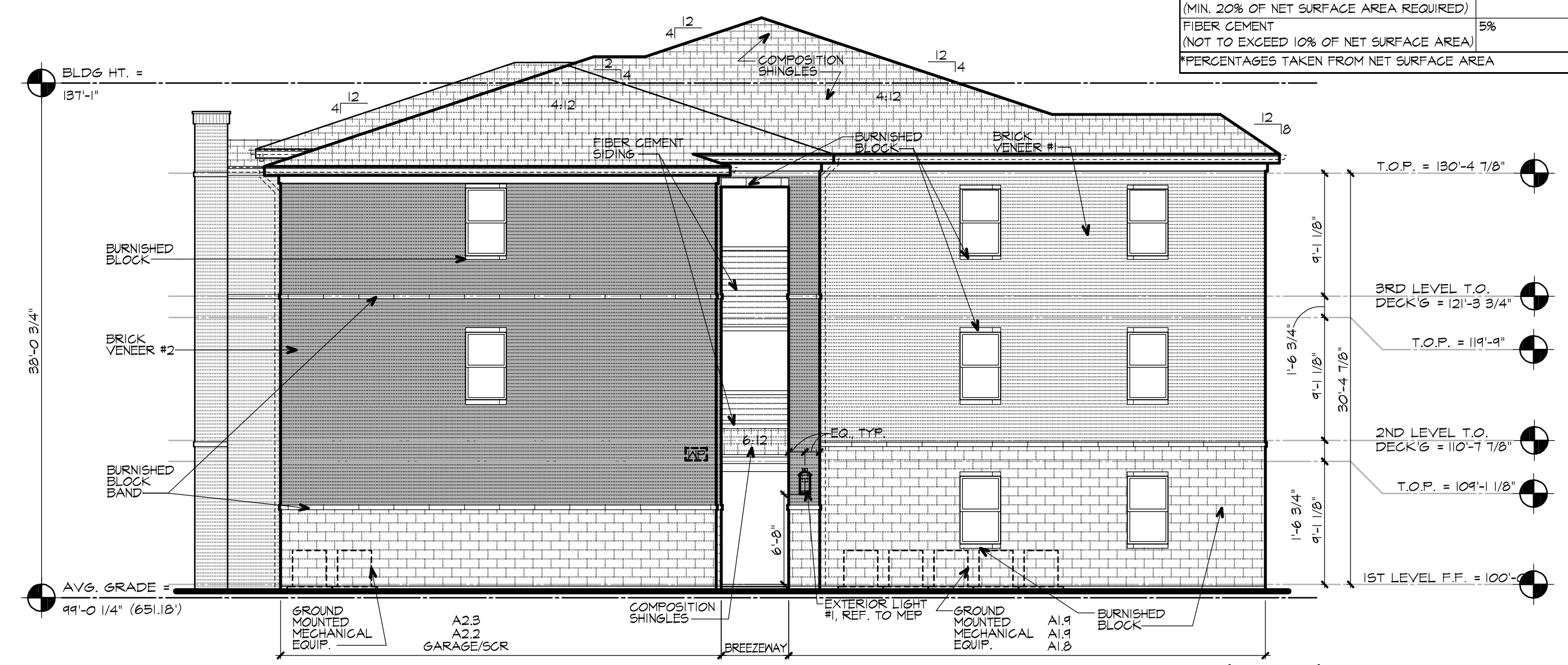


BUILDING TYPE IV TOTAL ELEVATION MATERIAL CALCULATIONS (PER PD-41 SECTION 9.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 30%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	2,289 SF, 18% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	6,072 SF
TOTAL SURFACE AREA	13,826 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	46%
BURNISHED BLOCK + 4% OF NET S.A. (NO REQUIRED MINIMUM)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	4%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



BUILDING TYPE IV EAST ELEVATION MATERIAL CALCULATIONS (PER PD-41 SECTION 9.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 30%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	120 SF, 5% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	1,981 SF
TOTAL SURFACE AREA	2,244 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	65%
BURNISHED BLOCK + 25.3% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	5%
PERCENTAGES TAKEN FROM NET SURFACE AREA	

BUILDING TYPE IV WEST ELEVATION MATERIAL CALCULATIONS (PER PD-41 SECTION 9.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 30%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	283 SF, 19% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	1,184 SF
TOTAL SURFACE AREA	2,114 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	47%
BURNISHED BLOCK + 20.2% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	3%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



BUILDING TYPE IV NORTH ELEVATION MATERIAL CALCULATIONS (PER PD-41 SECTION 9.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 30%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	957 SF, 21% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	2,672 SF
TOTAL SURFACE AREA	4,641 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	45%
BURNISHED BLOCK + 21.8% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	5%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



GROUND MOUNTED HVAC EQUIPMENT SHALL BE SCREENED WITH AN OPAQUE PER ZONING ORDINANCE

BLOCK D LOT 3  
TOWN PROJECT NUMBER: DEVAPP-23-0210





REAL VALUE ONLY # SIGNED AND DATED

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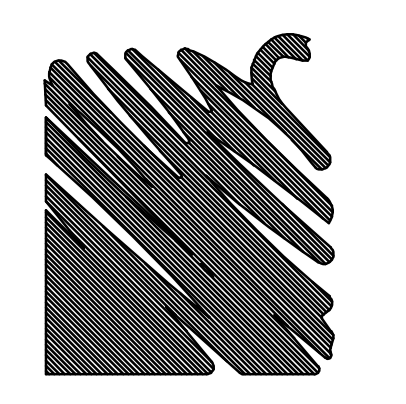
Project No. 23010  
Drawn By:

FAÇADE PLAN:  
APRIL 11, 2024

**LEGAL DESCRIPTION**  
AREAS: 204 PROSPER # 300 L.P. and 183 Land situated in the City of Prosper, Tarrant County, Texas, and more particularly described as follows: Block D, Lot 3, of the subdivision known as Prosper # 300 L.P., as shown on Plat No. 23010, recorded in the Public Records of Tarrant County, Texas, and as shown on Plat No. 23010, recorded in the Public Records of Tarrant County, Texas, and as shown on Plat No. 23010, recorded in the Public Records of Tarrant County, Texas.

**Gates of Prosper Multifamily II**  
PROSPER, TX  
**BLUE STAR**

**Womack + Hampton**  
ARCHITECTS, L.L.C.  
431 Oak Lawn Ave., Suite 50  
Dallas, Texas 75202  
Phone: (214) 222-3000  
Fax: (214) 222-3000

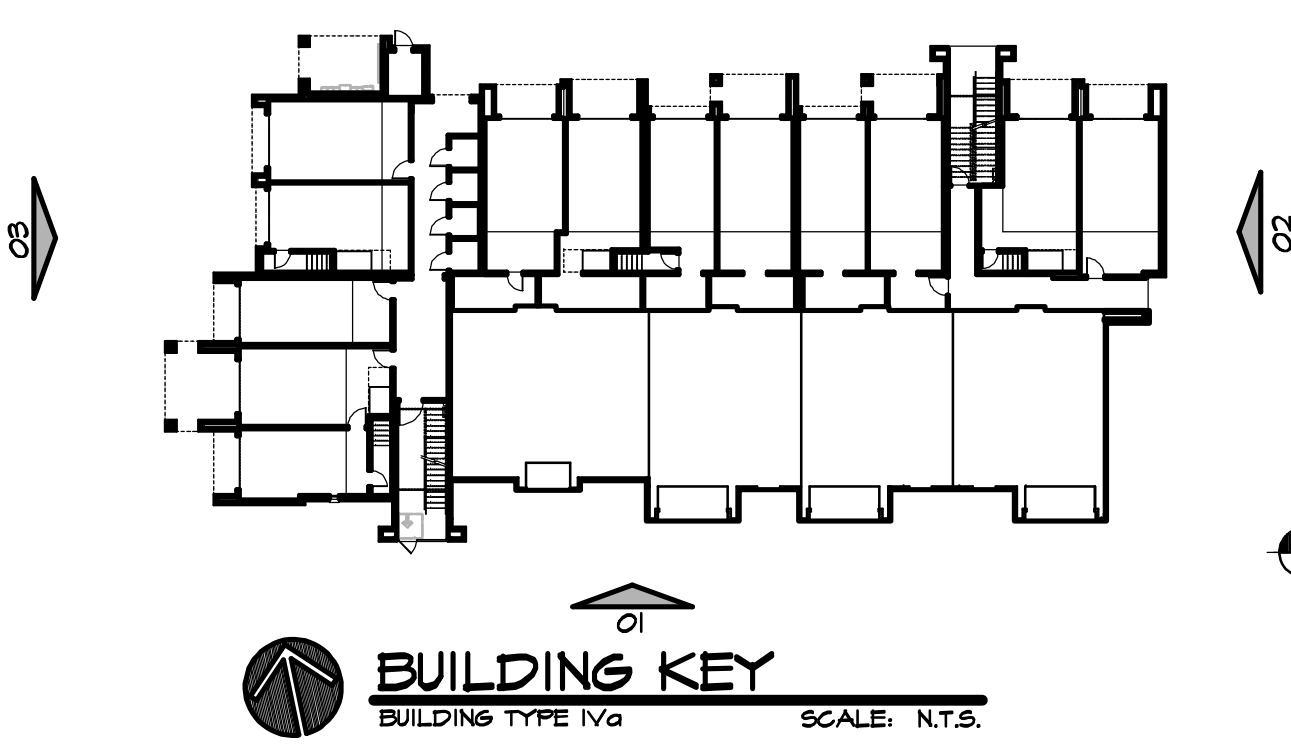


**STANDARD NOTES**

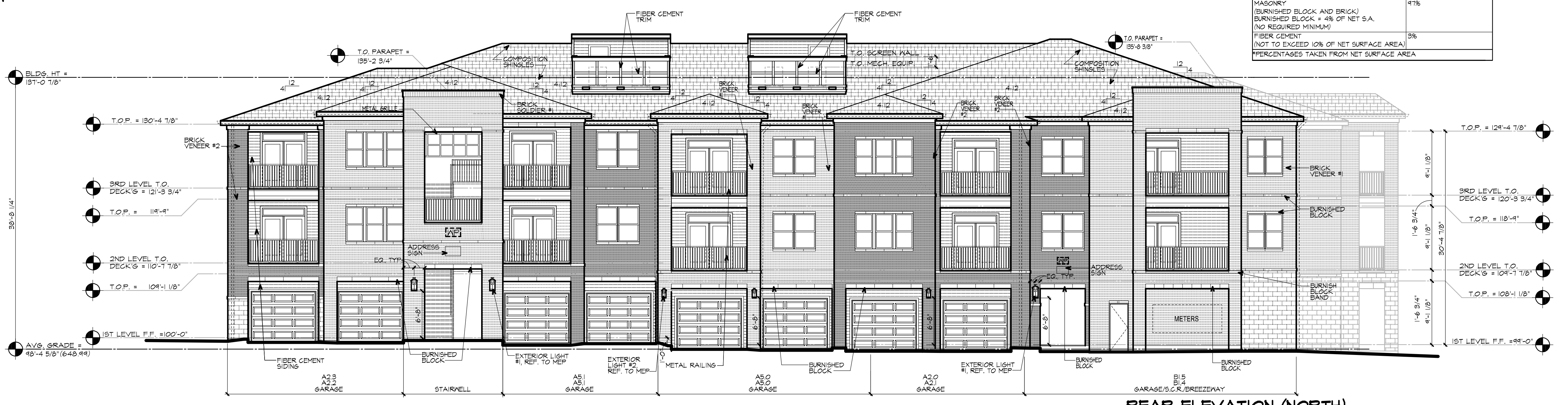
1. THIS FAÇADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.
2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE THE SPECIFICATIONS OF THE ZONING ORDINANCE.
3. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
4. ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.
5. WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.
6. ANY DEVIATION FROM THE APPROVED FAÇADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

OWNER	APPLICANT	ARCHITECT
BLUE STAR NICHOLAS LINS KIMBERLY LASSONBOYS.NET 12080747 PROSPER, TX 75084 412-441-4854	KIMLEY-HORN KATELIN MCCOY MAHLMANN KATHLEEN HANSHAMBY-HORN.COM 260 EAST DAVIS STREET, SUITE 100 MCKINNEY, TX 75069 469-988-0430	WOMACK + HAMPTON ARCHITECTS, L.L.C. JASON HEARDS JAS@WOMACKHAMPTON.COM 431 OAK LAWN AVE., SUITE 50 DALLAS, TX 75202 214-222-3000

BUILDING TYPE IVa NORTH ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 333.6)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 50%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	844 SF, 16% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	2,239 SF
TOTAL SURFACE AREA	4,408 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK) BURNISHED BLOCK + 4% OF NET S.A. (NO REQUIRED MINIMUM)	47%
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	5%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



BUILDING TYPE IVa TOTAL ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 333.6)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 50%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	2,239 SF, 16% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	8,126 SF
TOTAL SURFACE AREA	14,076 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK) BURNISHED BLOCK + 4.3% OF NET S.A. (NO REQUIRED MINIMUM)	45%
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	5%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



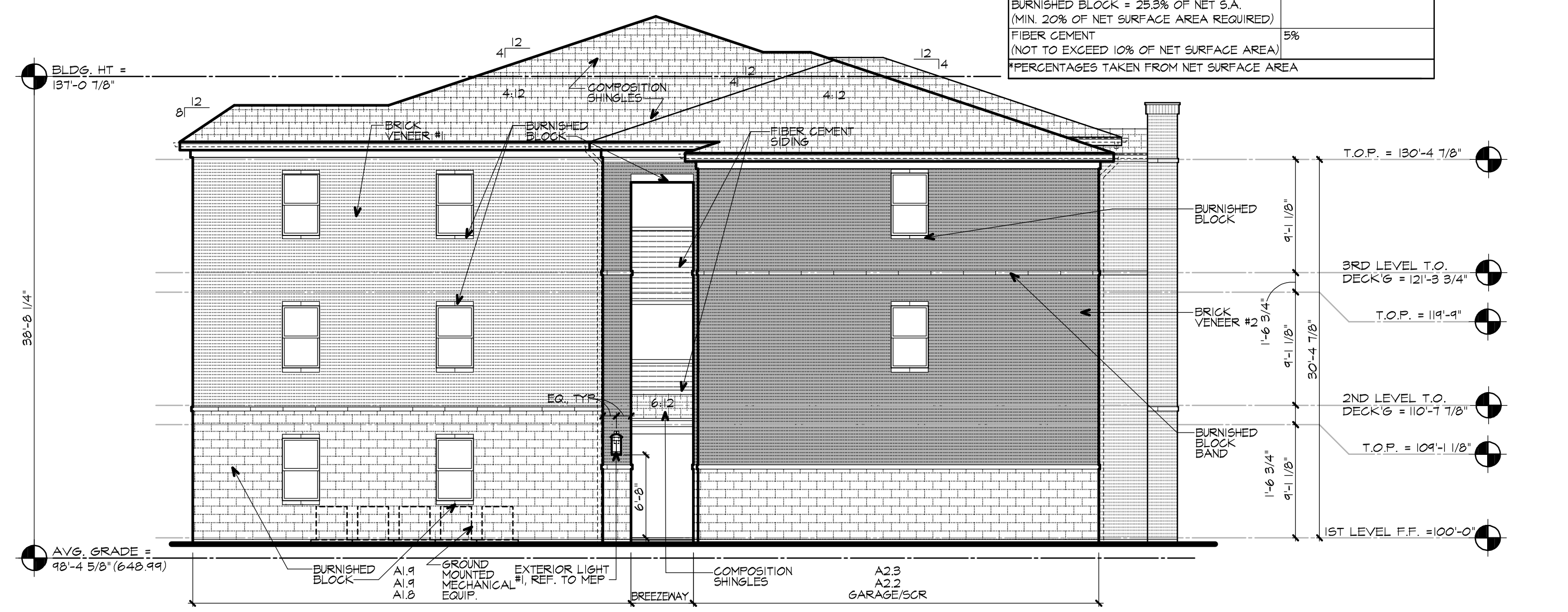
**04 REAR ELEVATION (NORTH)**  
BUILDING TYPE IVa SCALE: 1/8" = 1'-0"

BUILDING TYPE IVa WEST ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 333.6)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 50%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	252 SF, 3% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	1,242 SF
TOTAL SURFACE AREA	2,174 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK) BURNISHED BLOCK + 20.4% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	95%
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	5%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	

BUILDING TYPE IVa EAST ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 333.6)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 50%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	120 SF, 5% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	1,481 SF
TOTAL SURFACE AREA	2,249 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK) BURNISHED BLOCK + 25.3% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	95%
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	5%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



**03 LEFT ELEVATION (WEST)**  
BUILDING TYPE IVa SCALE: 1/8" = 1'-0"



**02 RIGHT ELEVATION (EAST)**  
BUILDING TYPE IVa SCALE: 1/8" = 1'-0"

BUILDING TYPE IVa SOUTH ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 333.6)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 50%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	987 SF, 21% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	2,672 SF
TOTAL SURFACE AREA	4,734 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK) BURNISHED BLOCK + 27.3% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	95%
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	5%
*PERCENTAGES TAKEN FROM NET SURFACE AREA	



**01 FRONT ELEVATION (SOUTH)**  
BUILDING TYPE IVa SCALE: 1/8" = 1'-0"

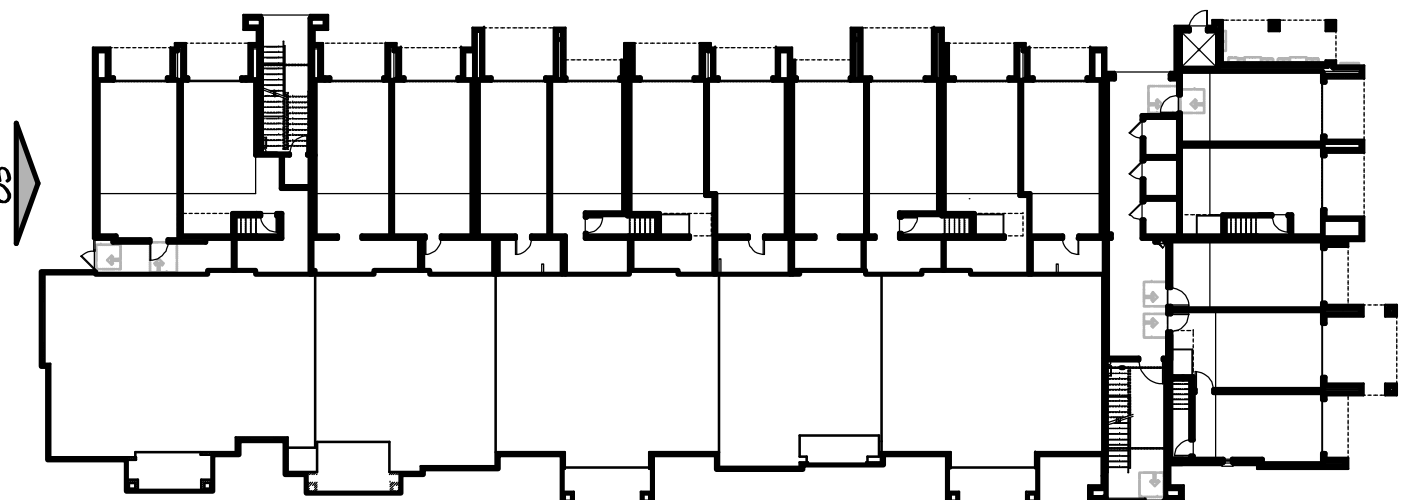
GROUND MOUNTED HVAC EQUIPMENT SHALL BE SCREENED WITH A SCREENING PER ZONING ORDINANCE

BLOCK D LOT 3 TOWN PROJECT NUMBER: DEVAPP-23-0210









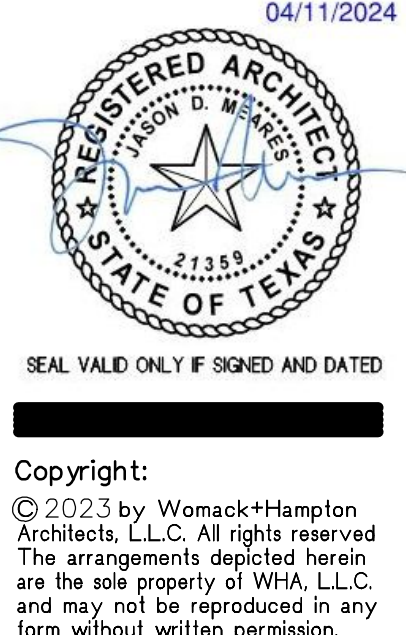
**BUILDING KEY**  
BUILDING TYPE Vg  
SCALE: N.T.S.

**STANDARD NOTES**

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE THE SPECIFICATIONS OF THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE MATCHED TO THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.
- WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.
- ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

OWNER	APPLICANT	ARCHITECT
BLUE STAR 15000 AS LANE N. NEIGHBORHOOD/BOYS'NET C/O BOYD WAT PROSPER, TX 75084 412-441-4884	KIMLEY-HORN KATE N. MCCOY MAHLMANN KATHY HANCOCK/HANNAH BRYAN HORN/COM 260 EAST DAVIS STREET, SUITE 100 MCALLEN, TX 78501 468-978-0430	WOMACK + HAMPTON ARCHITECTS, L.L.C. JASON HEARNS JASON WICKHAM/HAMPTON/COM 4311 OAK LAKE AVE., SUITE 500 DALLAS, TX 75244 214-252-4000

BUILDING TYPE Vg WEST ELEVATION MATERIAL CALCULATIONS (PER PD-67 SECTION 3.3.3.2)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80% (INCLUDES DOORS, WINDOWS, AND BALCONIES))	121 SF, 18% OF TOTAL SURFACE AREA
NET SURFACE AREA (INCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	5290 SF
TOTAL SURFACE AREA	6300 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	91%
BURNISHED BLOCK = 2.4% OF NET S.A. (NO REQUIRED MINIMUM)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	3%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



REAL, VALID ONLY IF SIGNED AND DATED

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Project No. 23010  
Drawn By: [Name]  
FACADE PLAN: APRIL 11, 2024

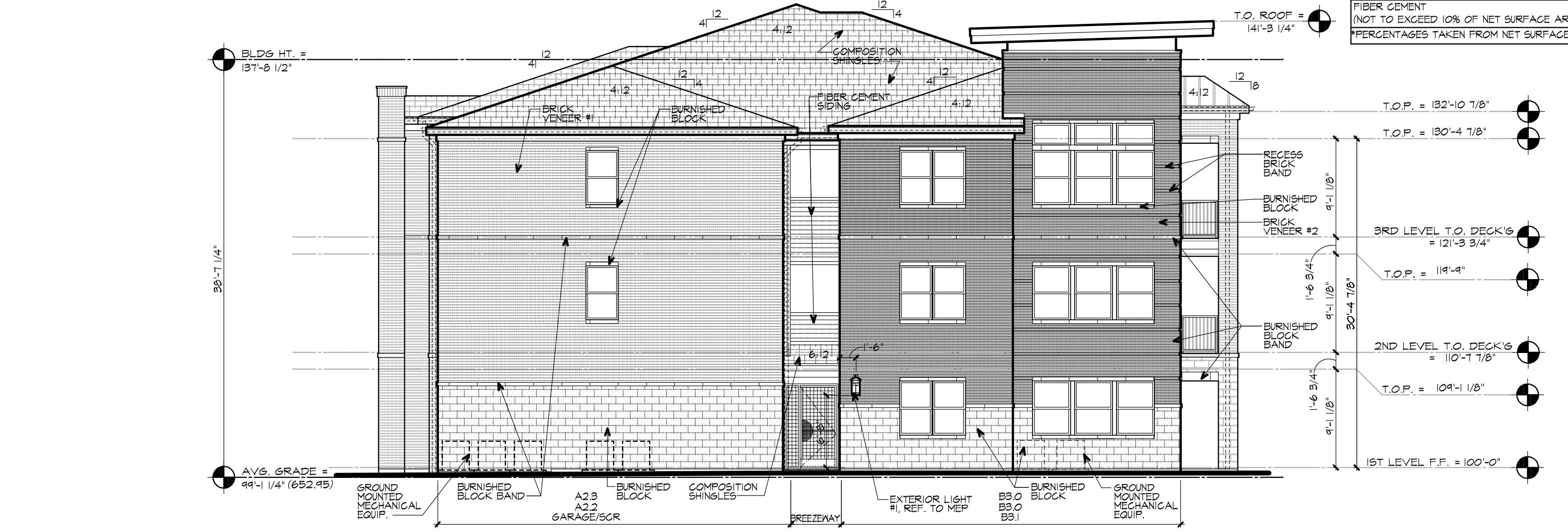


**04 REAR ELEVATION (WEST)**  
BUILDING TYPE Vg  
SCALE: 1/8" = 1'-0"

BUILDING TYPE Vg TOTAL ELEVATION MATERIAL CALCULATIONS (PER PD-67 SECTION 3.3.3.2)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80% (INCLUDES DOORS, WINDOWS, AND BALCONIES))	3351 SF, 19% OF TOTAL SURFACE AREA
NET SURFACE AREA (INCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	17466 SF
TOTAL SURFACE AREA	18511 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	44%
BURNISHED BLOCK = 16.1% OF NET S.A. (NO REQUIRED MINIMUM)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	6%
PERCENTAGES TAKEN FROM NET SURFACE AREA	

BUILDING TYPE Vg SOUTH ELEVATION MATERIAL CALCULATIONS (PER PD-67 SECTION 3.3.3.2)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80% (INCLUDES DOORS, WINDOWS, AND BALCONIES))	318 SF, 14% OF TOTAL SURFACE AREA
NET SURFACE AREA (INCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	1787 SF
TOTAL SURFACE AREA	2380 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	49%
BURNISHED BLOCK = 20.4% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	7%
PERCENTAGES TAKEN FROM NET SURFACE AREA	

BUILDING TYPE Vg NORTH ELEVATION MATERIAL CALCULATIONS (PER PD-67 SECTION 3.3.3.2)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80% (INCLUDES DOORS, WINDOWS, AND BALCONIES))	558 SF, 16% OF TOTAL SURFACE AREA
NET SURFACE AREA (INCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	1272 SF
TOTAL SURFACE AREA	2388 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	41%
BURNISHED BLOCK = 20.0% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	4%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



**03 LEFT ELEVATION (SOUTH)**  
BUILDING TYPE Vg  
SCALE: 1/8" = 1'-0"



**02 RIGHT ELEVATION (NORTH)**  
BUILDING TYPE Vg  
SCALE: 1/8" = 1'-0"

BUILDING TYPE Vg EAST ELEVATION MATERIAL CALCULATIONS (PER PD-67 SECTION 3.3.3.2)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 80% (INCLUDES DOORS, WINDOWS, AND BALCONIES))	1644 SF, 23% OF TOTAL SURFACE AREA
NET SURFACE AREA (INCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	4177 SF
TOTAL SURFACE AREA	7183 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	64%
BURNISHED BLOCK = 24.2% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	6%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



**01 FRONT ELEVATION (EAST)**  
BUILDING TYPE Vg  
SCALE: 1/8" = 1'-0"

GROUND MOUNTED HVAC EQUIPMENT SHALL BE SCREENED WITH AN EXTERIOR SCREEN PER ZONING ORDINANCE.

BLOCK D LOT 3  
TOWN PROJECT NUMBER: DEVAPP-23-0210

**LEGAL DESCRIPTION**

ALLEGAS 204 PRESSION 4 300 L.P. OF 183 Land Survey, Block D, Lot 3, located in the City of Prosper, Tarrant County, Texas, as shown on the plat of Block D, Lot 3, Survey, No. 0255, of the Town of Prosper, Collin County, Texas, and as shown on the plat of Block D, Lot 3, Survey, No. 0255, of the Town of Prosper, Collin County, Texas, and as shown on the plat of Block D, Lot 3, Survey, No. 0255, of the Town of Prosper, Collin County, Texas.

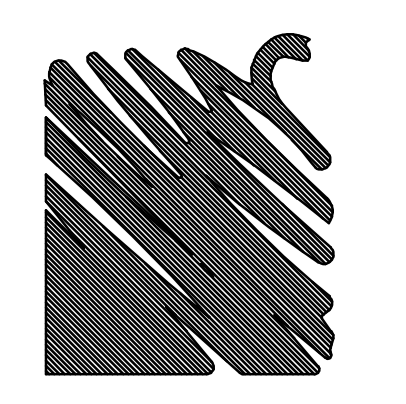
**Gates of Prosper Multifamily II**

PROSPER, TX

**Blue Star**

**Womack+Hampton**  
ARCHITECTS, L.L.C.

4311 Oak Lake Ave, Suite 500  
Dallas, Texas 75244  
Phone: (214) 252-4000  
Fax: (214) 252-4000















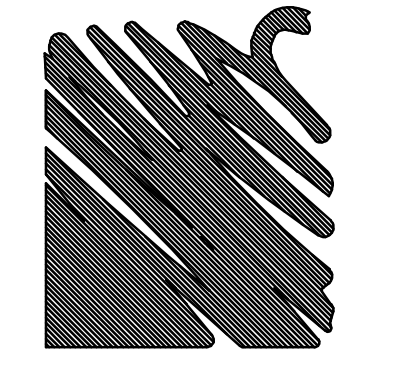
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Project No. 23010  
Drawn By:  
FACADE PLAN:  
APRIL 11, 2024

**LEGAL DESCRIPTION**  
AVERAS 204 PRESSION 4 300 L.F. and 103 Land situated in the County of Tarrant, State of Texas, more particularly described as follows: Lot 10, Block 10, of the subdivision known as Prosper Meadows, located in the County of Tarrant, State of Texas, and as shown on Plat No. 23010, recorded in the Public Records of Tarrant County, Texas, and as amended by Plat No. 23011, recorded in the Public Records of Tarrant County, Texas.

**Gates of Prosper Multifamily II**  
PROSPER, TX  
**BLUE STAR**

**Womack + Hampton**  
ARCHITECTS, L.L.C.  
4311 Oak Lawn Ave. Suite 50  
Dallas, Texas 75245  
Phone: (214) 252-3000  
Fax: (214) 252-3660



OWNER	APPLICANT	ARCHITECT
BLUE STAR BLOCK 10 LINK 11111 DALLASCOYS.NET CONROY WAY FRIEDO, TX 75054 712-441-4854	KIMLEY-HORN KATHY MOZZI MAHLMAN KATHI@KIMLEY-HORN.COM 260 EAST DAVIS STREET, SUITE 100 MC KINNEY, TX 75064 469-948-0450	WOMACK + HAMPTON ARCHITECTS, L.L.C. JASON BEAVER JASON@WOMACKHAMPTON.COM 2811 OAK LAWN AVE., SUITE 50 DALLAS, TX 75201 214-252-3000

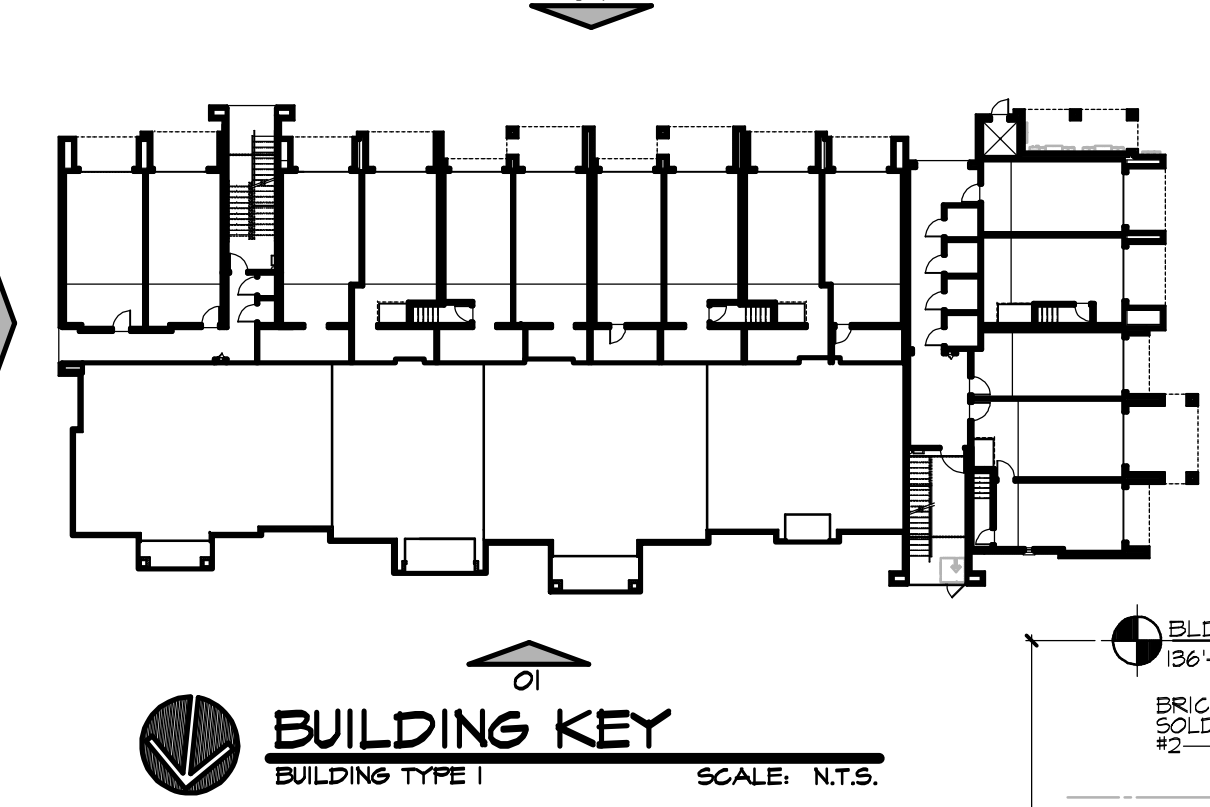
- NOTES**

  - THESE COLOR ELEVATIONS ARE STRICTLY ILLUSTRATIVE AND SERVE TO HELP EXPRESS THE DESIGN INTENT. FINAL COLOR SELECTIONS ARE TO BE DETERMINED.

**STANDARD NOTES**

  - THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.
  - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE THE SPECIFICATIONS OF THE ZONING ORDINANCE.
  - WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
  - ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.
  - WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.
  - ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

BUILDING TYPE I SOUTH ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 50%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	1,282 SF, 18% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	2,611 SF
TOTAL SURFACE AREA	5,554 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	97%
BURNISHED BLOCK + 26% OF NET S.A. (NO REQUIRED MINIMUM)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	3%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



BUILDING TYPE I TOTAL ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 50%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	2,564 SF, 18% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	5,781 SF
TOTAL SURFACE AREA	12,623 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	96%
BURNISHED BLOCK + 17.1% OF NET S.A. (NO REQUIRED MINIMUM)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	4%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



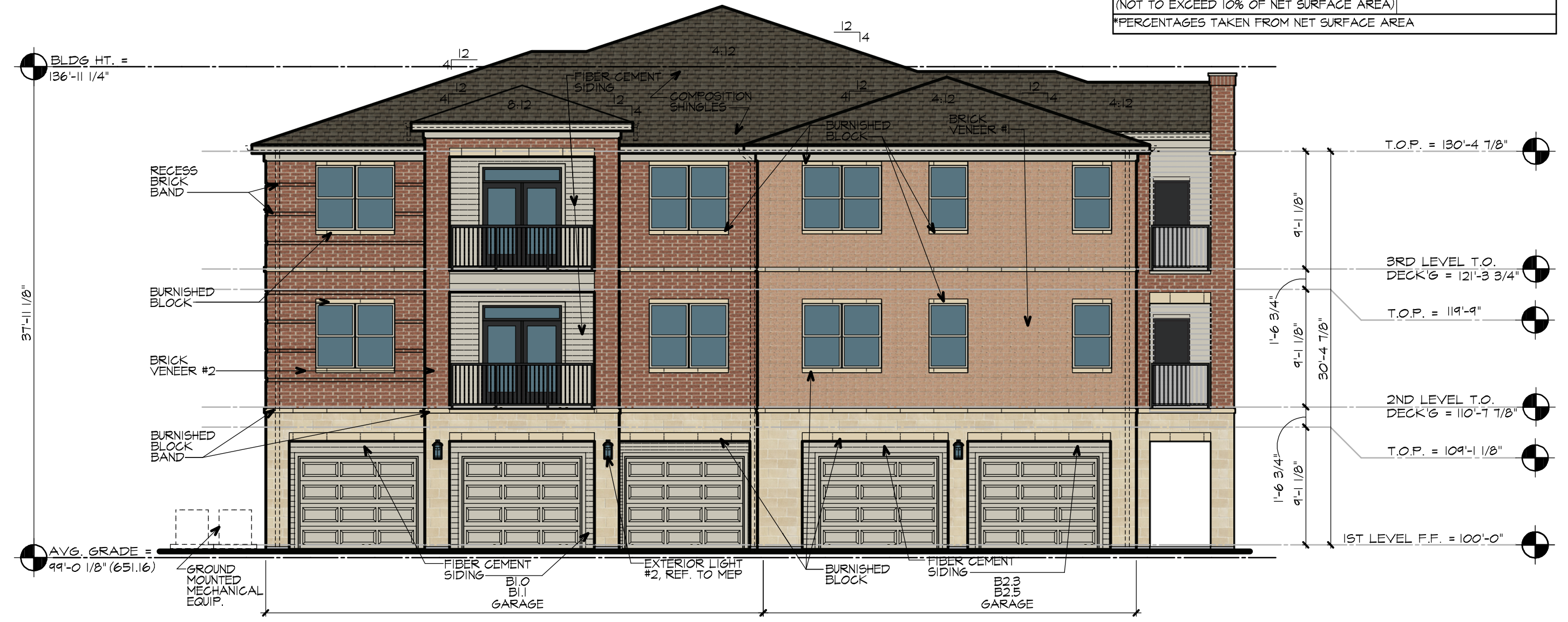
**04 REAR ELEVATION (SOUTH)**  
BUILDING TYPE I SCALE: 1/8" = 1'-0"

BUILDING TYPE I EAST ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 50%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	211 SF, 10% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	1,664 SF
TOTAL SURFACE AREA	2,226 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	94%
BURNISHED BLOCK + 20.1% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	6%
PERCENTAGES TAKEN FROM NET SURFACE AREA	

BUILDING TYPE I WEST ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 50%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	336 SF, 16% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	1,081 SF
TOTAL SURFACE AREA	2,067 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	95%
BURNISHED BLOCK + 20.4% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	5%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



**03 LEFT ELEVATION (EAST)**  
BUILDING TYPE I SCALE: 1/8" = 1'-0"



**02 RIGHT ELEVATION (WEST)**  
BUILDING TYPE I SCALE: 1/8" = 1'-0"

BUILDING TYPE I NORTH ELEVATION MATERIAL CALCULATIONS (PER PD-61 SECTION 3.3.3.a)	
TYPE	AREA
GLAZING SURFACE AREA (NOT TO EXCEED 50%) (INCLUDES DOORS, WINDOWS, AND BALCONIES)	1,265 SF, 22% OF TOTAL SURFACE AREA
NET SURFACE AREA (EXCLUDES DOORS, WINDOWS, BALCONIES, AND ACCENT MATERIALS)	3,554 SF
TOTAL SURFACE AREA	5,446 SF
MATERIAL PERCENTAGES	
MATERIAL	PERCENTAGE*
MASONRY (BURNISHED BLOCK AND BRICK)	96%
BURNISHED BLOCK + 26.6% OF NET S.A. (MIN. 20% OF NET SURFACE AREA REQUIRED)	
FIBER CEMENT (NOT TO EXCEED 10% OF NET SURFACE AREA)	4%
PERCENTAGES TAKEN FROM NET SURFACE AREA	



**01 FRONT ELEVATION (NORTH)**  
BUILDING TYPE I SCALE: 1/8" = 1'-0"

GROUND MOUNTED HVAC EQUIPMENT SHALL BE SCREENED WITH LANDSCAPING PER ZONING ORDINANCE  
BLOCK D LOT 3 TOWN PROJECT NUMBER: DEVAPP-23-0210







To: **Planning & Zoning Commission**

**Item No. 4**

From: **Suzanne Porter, AICP, Planning Manager**

Through: **David Hoover, AICP, Director of Development Services**

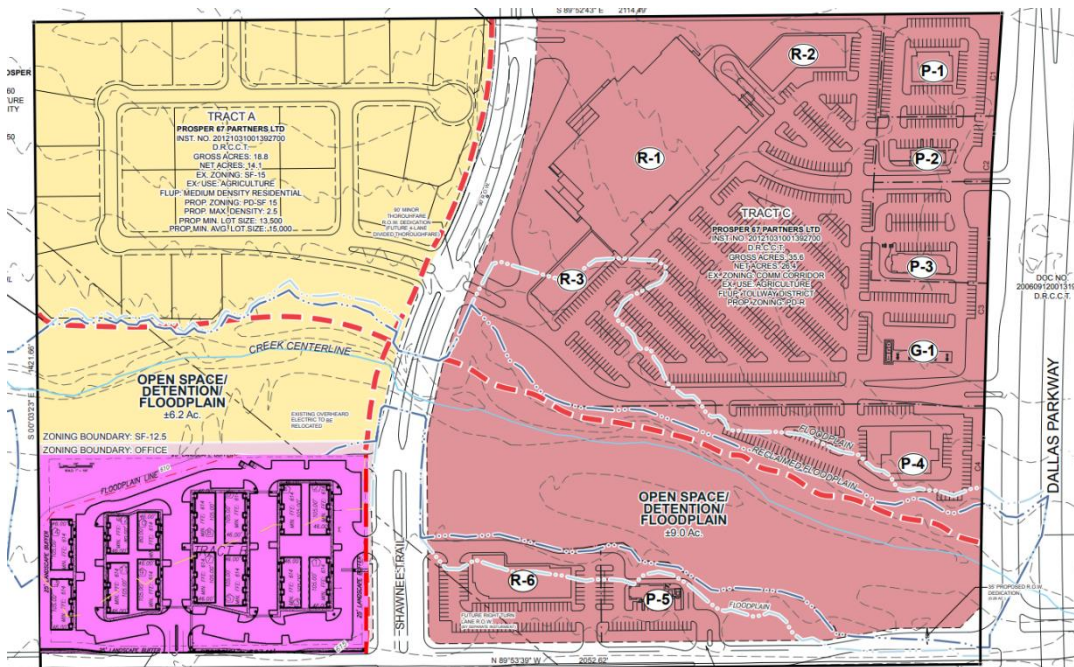
Re: **Planning & Zoning Commission Meeting – April 23, 2024**

**Agenda Item:**

Conduct a Public Hearing and consider and act upon a request to rezone 47.0± acres from Planned Development-75 to a Planned Development for Multifamily and Mixed-Use, located at the northwest corner of Dallas Parkway and Prosper Trail. (ZONE-24-0001)

**History:**

The subject property is part of a larger area of land that was rezoned on March 26, 2019, to Planned Development-75 (Ordinance No. 19-16) with a base zoning of Retail. Planned Development-75 was separated into three distinct zonings as shown and described below.





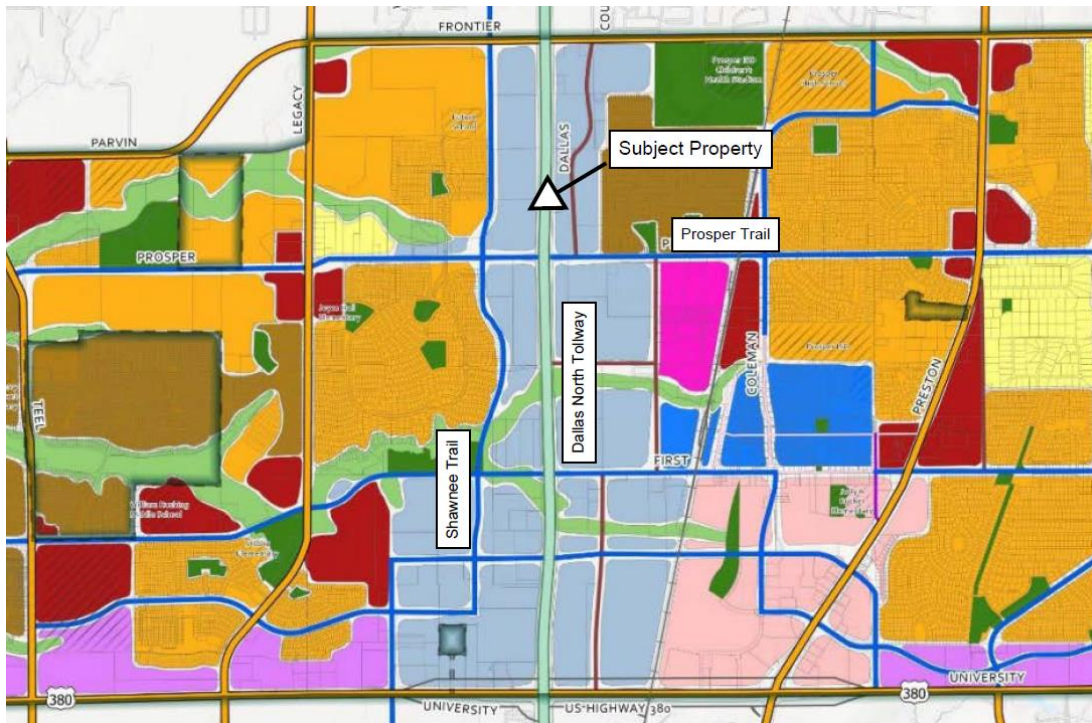
*Office* – The northwest corner of Shawnee Trail and Prosper Trail was identified for office development. Phase 1 of the office development is complete and Phase 2 is under review.

*Single Family-15* – The single family portion of the development is on the west side of Shawnee Trail, north of the office development. A Preliminary Plat for the residential subdivision has been approved and a Final Plat is currently under reviewed.

*Retail* – The conceptual plan shows a Big Box retail store, gas pumps, restaurants with and without drive-throughs, retail and office uses. This is the property which the applicant requests to rezone, creating a new Planned Development.

**Future Land Use Plan:**

The Future Land Use Plan classifies the property as the Dallas North Tollway District. The proposed zoning request conforms to the Future Land Use Plan. The following shows the property’s location on the Future Land Use Plan and the Comprehensive Plan description of the Dallas North Tollway District.



**Future Land Use**

- |   |   |   |
|---|---|---|
| <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; border: 1px solid black; margin-right: 5px;"></span> Low Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black; margin-right: 5px;"></span> Medium Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: brown; border: 1px solid black; margin-right: 5px;"></span> High Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: red; border: 1px solid black; margin-right: 5px;"></span> Retail &amp; Neighborhood Services</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: pink; border: 1px solid black; margin-right: 5px;"></span> Business Park</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: blue; border: 1px solid black; margin-right: 5px;"></span> Old Town District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightpink; border: 1px solid black; margin-right: 5px;"></span> Town Center</li> </ul> | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightblue; border: 1px solid black; margin-right: 5px;"></span> Dallas North Tollway District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: purple; border: 1px solid black; margin-right: 5px;"></span> US Highway 380 District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: green; border: 1px solid black; margin-right: 5px;"></span> Parks</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightgreen; border: 1px solid black; margin-right: 5px;"></span> Floodplain</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px dashed black; margin-right: 5px;"></span> School District Properties</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid black; margin-right: 5px;"></span> Town Limits</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px dashed black; margin-right: 5px;"></span> ETJ</li> </ul> | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; border-bottom: 2px solid green; margin-right: 5px;"></span> Dallas North Tollway, Dedicated Truck Route</li> <li><span style="display: inline-block; width: 15px; height: 10px; border-bottom: 2px solid orange; margin-right: 5px;"></span> 6 Lane Divided</li> <li><span style="display: inline-block; width: 15px; height: 10px; border-bottom: 2px solid blue; margin-right: 5px;"></span> 4 Lane Divided</li> <li><span style="display: inline-block; width: 15px; height: 10px; border-bottom: 2px solid brown; margin-right: 5px;"></span> Commercial Collector</li> <li><span style="display: inline-block; width: 15px; height: 10px; border-bottom: 2px solid purple; margin-right: 5px;"></span> 3 Lane Undivided Couplet</li> <li><span style="display: inline-block; width: 15px; height: 10px; border-bottom: 2px solid gray; margin-right: 5px;"></span> Access Roads</li> <li><span style="display: inline-block; width: 15px; height: 10px; border-bottom: 2px solid gray; margin-right: 5px;"></span> Old Town Roads</li> </ul> |
|---|---|---|



## Dallas North Tollway District

The Dallas North Tollway District will consist of the most intense land uses within Prosper. A diverse mixture of office, retail, and residential will likely develop along the corridor. Mid-rise office (up to 12 stories) may be permitted throughout the corridor. Office buildings should be designed for a “campus feel” —they should be oriented towards common public space with significant landscaping and should be linked by a pedestrian network. A common architectural theme should also be established for a consistent visual appearance. Mixed-use development should be encouraged and should contain a mixture of office, retail and residential uses. Mixed-use lofts/apartments would be the most appropriate residential use within this District. Structured parking should be encouraged in more intense areas to limit the presence and visibility of large parking lots. Structured parking should be oriented to minimize visibility from the Tollway. The Town may explore an overlay zoning district to better accommodate the preferred development outcomes in the Dallas North Tollway District.

Use Appropriateness			
<ul style="list-style-type: none"> <li>● ● ● = Appropriate primary uses</li> <li>● ● ○ = Conditional as primary uses</li> <li>● ○ ○ = Conditional as secondary uses</li> <li>○ ○ ○ = Inappropriate use</li> </ul>			
Residential		Nonresidential	
Agricultural	○ ○ ○	Mixed-Use, Neighborhood Scale	○ ○ ○
Cluster Subdivision	○ ○ ○	Mixed-Use, Community Scale	● ● ●
Single-Family, Large Lot	○ ○ ○	Mixed-Use, Regional Scale	● ● ●
Single-Family, Medium Lot	○ ○ ○	Neighborhood Office and Commercial	● ● ○
Single-Family, Small Lot	○ ○ ○	Regional Office and Commercial	● ● ●
Townhome	○ ○ ○	Neighborhood Shopping Center	● ● ○
Duplex	○ ○ ○	Regional Shopping Center	● ● ●
Senior Housing	● ○ ○	Light Industrial/Flex Space	○ ○ ○
Apartment	● ● ○	Civic/Recreation/Open Space	● ● ○



**Zoning:**

The property is zoned Planned Development-75 (Retail).

**Thoroughfare Plan:**

The property has access to the following streets on the Thoroughfare Plan:

- Dallas North Tollway – Dedicated Truck Route
- Prosper Trail – Four-Lane Divided Thoroughfare
- Shawnee Trail – Four-Lane Divided Thoroughfare

**Parks Master Plan:**

The Parks Master Plan does not indicate the need for a park on the property. All trails comply with the Hike & Bike Master Plan. An ten-foot hike and bike trail is required on Dallas Parkway and Prosper Trail. A six-foot sidewalk is required along all other public roadways. Trails within the development shall connect to the trails along the roadways.

**Legal Obligations and Review:**

Notification was provided as required by the Zoning Ordinance and State law. Staff has not received any response to the proposed zoning request to date.

**Attached Documents:**

1. Aerial & Zoning Maps
2. Future Land Use Plan Exhibit
3. Exhibit A-1 – Metes and Bounds Legal Description
4. Exhibit A-2 – Survey
5. Exhibit B – Statement of Intent and Purpose
6. Exhibit C – Development Standards
7. Exhibit D – Conceptual Plan
8. Exhibit E – Development Schedule
9. Exhibit F – Conceptual Elevations

**Description of Agenda Item:**

The purpose of this request is to create the Prosper Arts District Planned Development. The project will have two separate subdistricts (zones). The Multifamily Zone consists of approximately 10.6 acres in the northern portion of the property, and the Mixed-Use Zone consists of approximately 25.0 acres to the south. The boundary between these two areas may shift somewhat during the design thus changing the final area allocated to each zone.

Though these two zones have different development regulations regarding uses, density, heights, etc., they will be linked in other respects. Open space and trails, architectural styles, parking, and the installation of Public Art will tie these two zones together to make a cohesive development. Some of the features in this development include:

- A hotel along the Dallas Parkway that will cater to sports teams.
- Medical office along the Dallas Parkway that will include a long-term stay hotel for the use of rehabilitation.
- A hotel on Shawnee Trail which will have small pod hotel rooms along the linear water channel.
- Public art throughout the entire development.
- A central parking garage that will be utilized by several uses and buildings within the Mixed-Use Zone.
- Interaction between businesses and the linear open space through the Mixed-Use Zone.



**Compatibility:**

The zoning change will introduce a residential component to the site while retaining the non-residential components. The mix of uses is compliant with the intent of the Comprehensive Plan and appropriate along the Dallas North Tollway. The Multifamily Zone will abut property zoned Commercial Corridor to the north. The Mixed-Use Zone will include a variety of uses, including hotels, medical office, retail, restaurant, and an event venue whose primary purpose is for weddings. All uses intended for this development are listed in the “Uses” section of this report.

The following chart describes the surrounding properties:

	<b>Zoning</b>	<b>Current Land Use</b>	<b>Future Land Use Plan</b>
<b>Subject Property</b>	Planned Development-75 (Retail)	Vacant	Dallas North Tollway District
<b>North</b>	Commercial Corridor	Vacant	Dallas North Tollway District
<b>East</b>	Commercial Corridor	Vacant	Dallas North Tollway District
<b>South</b>	Planned Development-66 (Retail)	Vacant	Dallas North Tollway District
<b>West</b>	Planned Development-75 (Office & Single Family-15)	Office & Vacant	Dallas North Tollway District & Medium Density Residential

**Conceptual Plan:**

The Conceptual Plan (See Exhibit D) shows the general layout of the development. The plan does not take into account all Zoning regulations, Engineering Standards, etc. as it is too early in the development process to determine certain criteria. In recognition of this, the following note has been placed on the Conceptual Plan:

Note:  
The conceptual layout generally depicts intent, but final layout shall be determined at time of Preliminary Site Plan, and shall meet all Town requirements including, but not limited to, ALL Fire Code requirements. Engineering Design Standards as it relates to driveway spacing, throat depth and turn lane requirements, standard Town landscape requirements if not otherwise defined in Exhibit C (Development Standards), and all development standards listed throughout the Town Zoning Ordinance also if not otherwise defined in Exhibit C. In addition, all other local, state, and federal regulations as it relates to the floodplain and waters of the US, or other shall be adhered. There are no vested rights with the approval of the layout of this zoning case depicted in Exhibit D.

**Dallas North Tollway District Design Guidelines**

The property is located in the Frontier Parkway Gateway Subsection of the Dallas North Tollway District. These guidelines provide criteria recommended for development in this corridor and are not zoning requirements. The guidelines encourage a mixed-use environment to create a live, work and play environment. It is an area to be used not only as an employment center but provide uses and amenities that create an atmosphere where families can visit and enjoy. The uses proposed in this development that meet these qualifications include, medical office, office, hotels (full-service), dine-in restaurant, retail, an event space (chapel), and a focus on public art. A central open space will allow buildings and businesses to face and interact with this amenity. The



inclusion of multifamily in the development will promote activity during all times of the day and night.

**Uses:**

The uses proposed within the Multifamily and Mixed-Use Zones are listed below. They fall into the categories of “Permitted” and “Specific Use Permit.”

<b>Multifamily Zone</b>	<b>Mixed-Use Zone</b>
<b>Permitted</b>	<b>Permitted</b>
<ul style="list-style-type: none"> <li>• Multifamily Dwelling</li> <li>• Accessory Building</li> <li>• Home Occupation</li> <li>• House of Worship</li> <li>• Municipal Uses Operated by Town of Prosper</li> <li>• Park or Playground</li> <li>• Private Recreation Center</li> </ul>	<ul style="list-style-type: none"> <li>• Administrative, Medical or Professional Office</li> <li>• Alcohol Beverage Establishment</li> <li>• Alcohol Beverage Sales</li> <li>• Antique Shop and Used Furniture</li> <li>• Artisan's Workshop</li> <li>• Automobile Parking Lot/Garage</li> <li>• Automobile Paid Parking Lot/Garage</li> <li>• Bank, Savings and Loan, or Credit Union</li> <li>• Beauty Salon/Barber Shop</li> <li>• Business Service</li> <li>• Caretaker's/Guard's Residence</li> <li>• Catering</li> <li>• Civic/Convention Center</li> <li>• Commercial Amusement, Indoor</li> <li>• Community Center</li> <li>• Convenience Store without Gas Pumps</li> <li>• Dry Cleaning, Minor</li> <li>• Farmer's Market</li> <li>• Furniture, Home Furnishings and Appliance Store</li> <li>• Furniture Restoration, as an accessory use to a Furniture Store</li> <li>• Governmental Office</li> <li>• Gymnastics/Dance Studio</li> <li>• Health/Fitness Center</li> <li>• Homebuilder Marketing Center</li> <li>• Hospital</li> <li>• Hotel, Full Service</li> <li>• House of Worship</li> <li>• Insurance Office</li> <li>• Locksmith/Security System Company</li> <li>• Meeting/Banquet/Reception Facility</li> <li>• Mobile Food Vendor</li> <li>• Multifamily, if over a minimum 1-floor of non-residential uses.</li> </ul>



	<ul style="list-style-type: none"> <li>• Municipal Uses Operated by the Town of Prosper</li> <li>• Museum/Art Gallery</li> <li>• Outdoor Merchandise Display, Temporary</li> <li>• Park or Playground</li> <li>• Pet Day Care</li> <li>• Print Shop, Minor</li> <li>• Private Club</li> <li>• Private Recreation Center</li> <li>• Restaurant (without a drive-through)</li> <li>• Retail Stores and Shops</li> <li>• Retail/Service Incidental Use</li> <li>• Theater, Neighborhood</li> <li>• Veterinarian Clinic and/or Kennel, Indoor</li> </ul>
(No uses by Specific Use Permit)	<p style="text-align: center;"><b>Specific Use Permit Required</b></p> <ul style="list-style-type: none"> <li>• Commercial amusement, Outdoor</li> <li>• Helistop</li> <li>• Outdoor Merchandise Display, Incidental</li> <li>• Rehabilitation Care institution</li> <li>• Utility Distribution/Transmission Facility</li> <li>• Body Art Studio</li> </ul>

**Multifamily Units:**

The sizes of multifamily units will vary from the Zoning Ordinance standards, as follows:

- *Efficiency Units* – This type of unit is not in the Zoning Ordinance and is proposed in the Planned Development. Efficiency Units are defined as a dwelling unit containing only one habitable room used for combined living, dining, and sleeping purposes plus a private bathroom facilities within the unit. They are a minimum of 570 square feet.
- *One or two bedroom* — The Ordinance requires that they are a minimum 850 square feet. The Planned Development will allow 750 square feet.
- *Additional bedrooms* — The Zoning Ordinance and the Planned Development require 150 square feet per additional bedroom.

The Planned Development limits the amount of Efficiency Units and those with three bedrooms or more.

- A maximum 10% of the units may be Efficiency Units.
- No more than 10% of the units may contain three or more bedrooms.

**Density:**

*Multifamily Zone* – The density in this zone is 50 units per acre.

*Mixed-Use Zone* – The maximum density in this zone is 60 units per acre with a maximum of 350 total units.



**Building Height:**

*Multifamily Zone* – Five (5) stories, no greater than sixty (60) feet from finished grade.

*Mixed-Use Zone* – Nine (9) stories, no greater than 110 feet along Shawnee Trail and 14 stories, no greater than 170 feet along Dallas Parkway.

Parking garage height varies depending on whether the garage is stand-alone or in conjunction with another building. Stand-alone garages shall not exceed seven (7) stories or 75 feet. Attached garages cannot be taller than the adjoining or wrapped building.

**Building Setbacks:**

Building setbacks are defined in Exhibit C. Multifamily structures can have a 10-foot or greater front setback with 30-foot side and rear setbacks. Buildings shall be 30 feet apart. There are no setback requirements in the Mixed-Use Zone, with the exception of meeting Fire Code standards.

**Parking:**

All multifamily units within the Planned Development will be parked as follows:

- One (1) space per dwelling unit for efficiency units
- One and one-half (1.5) spaces per dwelling unit for one-bedroom and two-bedroom units
- For every additional room, an additional parking space is required.

*Multifamily Zone* – Parking will be surface parking or individual garages.

*Mixed-Use Zone* – Parking for the multifamily will be in structured garages. Parking between uses is intended to be shared. A shared parking arrangement will be determined at the time of preliminary site plan review.

**Sidewalks:**

*Multifamily Zone* – Seven-foot sidewalks are required in front of buildings. This will allow for entry doors into each unit from the exterior of the building and a space for outdoor patios.

*Mixed-Use Zone* – A 15-foot sidewalk is required along the fronts of primary buildings, along drive aisles and parking rows.

**Landscape Buffers:**

The minimum landscape buffers along the streets shown on the Thoroughfare Plan are as follows:

- Twenty-five (25) feet along Prosper Trail
- Twenty-five (25) feet along Shawnee Trail
- Thirty (30) feet along Dallas Parkway.

**Open Space and Trails:**

The floodplain bisects the property east to west. This natural feature was identified the existing Planned Development as an open space area with walking paths, and it is a primary feature of this proposal. It is intended to be an amenity to serve both zones with connecting trails/sidewalks throughout the development.

The amount of open space proposed for the entire development is 15%, which is a approximately 5.4 acres. Exhibit C, Section G(1) describes the criteria for the development of the open space, including the following:



- A minimum 30% of the Multifamily Zone area will be open space. Of this, one-third must be provided within the bounds of that zone. The remaining area can be allocated elsewhere within the entire development.
- No more than 60% of the useable open space can be detention or within floodplain.
- Amenities are required within the open space.
- Buildings must side or face the open space areas to the greatest extent possible.

**Architectural Standards:**

Buildings will be designed to front onto adjacent public streets with minimal parking in front of the buildings. Garages that are visible from the Tollway will be designed so that it will appear as a building façade rather than a structured garage.

**Building Materials:**

The styles of buildings are to be consistent within the Multifamily zone. The Mixed-Use Zone will have buildings that will be somewhat unique and have an artistic expression. Examples of buildings are provided in Exhibit F. These will be further refined when preliminary site plan and site plan applications are submitted for review.

Regarding building materials, the applicant proposes the following:

- All buildings must be a minimum of eighty percent (80%) primary materials, excluding windows and doors on each façade.
- Primary materials include fiber cement panel, metal composite material (examples include, but not limited to Centria and Alucobond), steel plate, clay fired brick, natural and manufactured stone, granite, and marble.
- On each façade, stucco is limited to a maximum ten percent (10%) on the first floor, a maximum thirty percent (30%) on the second and third stories, and a maximum fifty percent (50%) on the fourth story and above.
- No single finish shall cover more than eighty percent (80%) of the front of any building.
- First floors in the Mixed-Use Zone will have a minimum ceiling height of 14 feet and will have windows covering 60% of the facades that face a major street and public-realm.

**Public Art:**

A minimum of 24 public art installations shall be included throughout the entire project. The placement and types of public art will be determined at the time of development and are subject to the approval of the Director of Development Services.

**Phasing:**

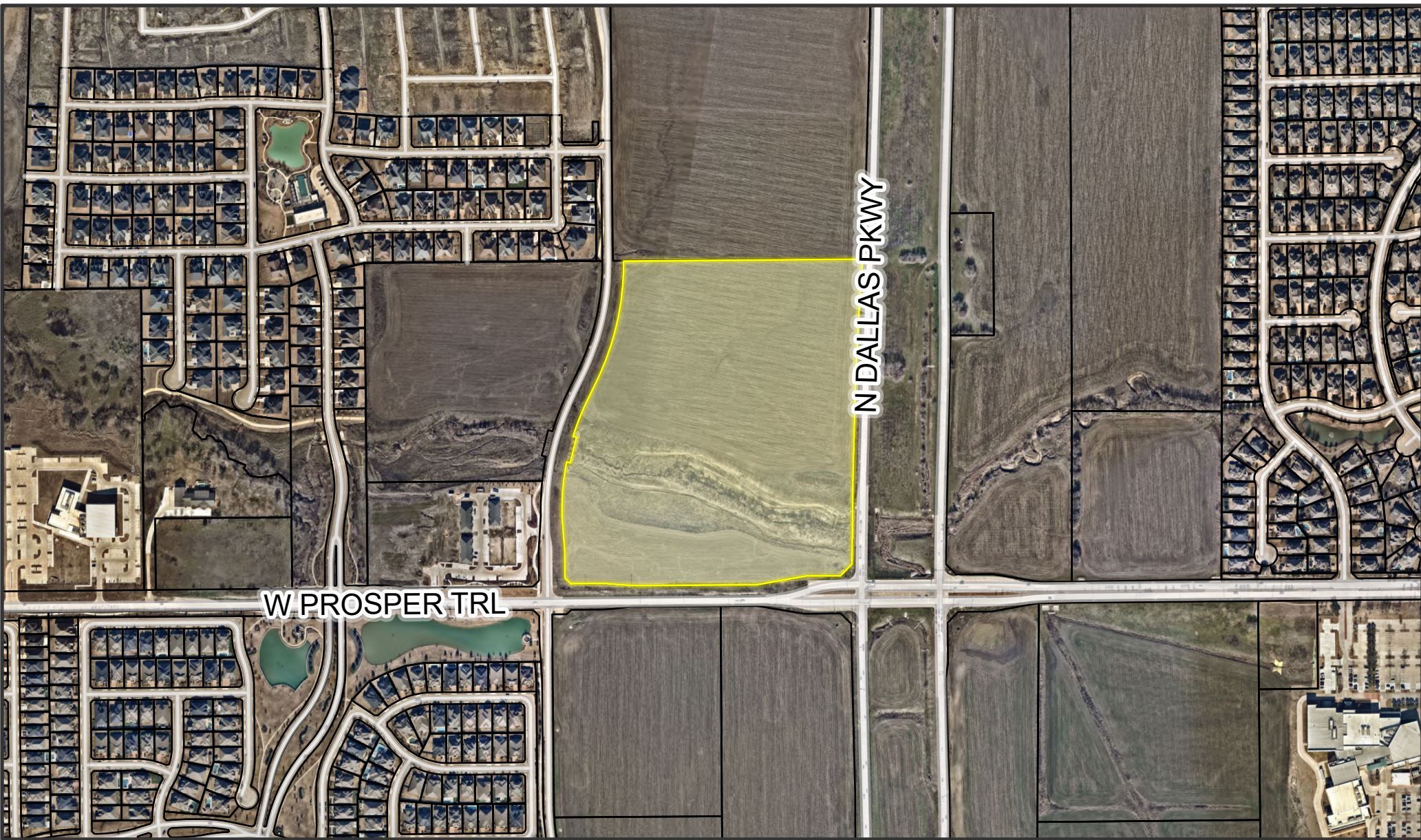
The project will be developed in three phases, as follows:

- Phase 1: Multifamily Zone, Trail System, Hotel on the east, Parking Garage, Extended Stay Hotel/Medical Office Tower on the east
- Phase 2: Hotel on the west, Mixed-Use Multifamily, Retail
- Phase 3: Retail and Office on Prosper Trail/Shawnee

**Town Staff Recommendation:**

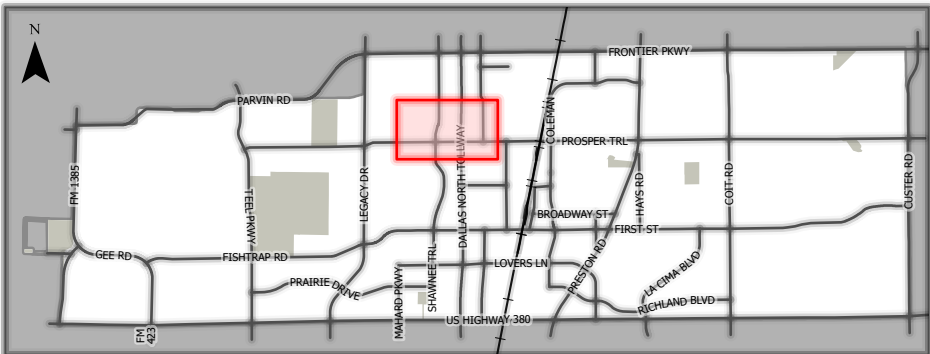
Town Staff recommends approval of the request to rezone 47.0± acres from Planned Development-75 to a Planned Development for Multifamily and Mixed-Use, located at the northwest corner of Dallas Parkway and Prosper Trail.





W PROSPER TRL

N DALLAS PKWY



**ZONE-24-0001**

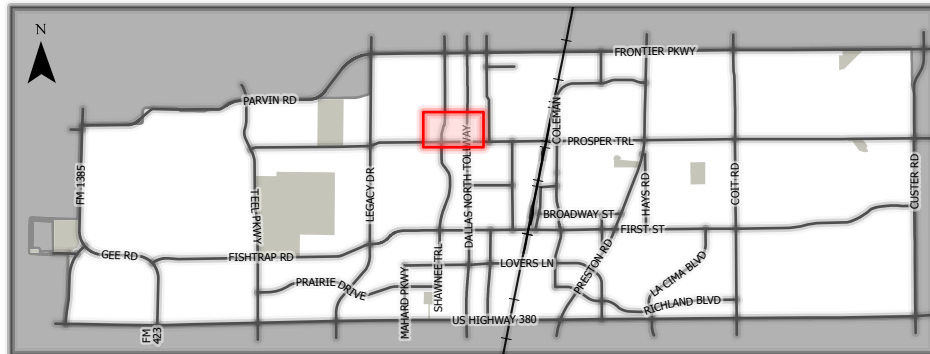
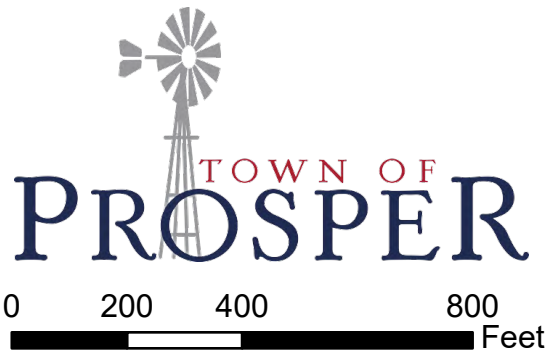
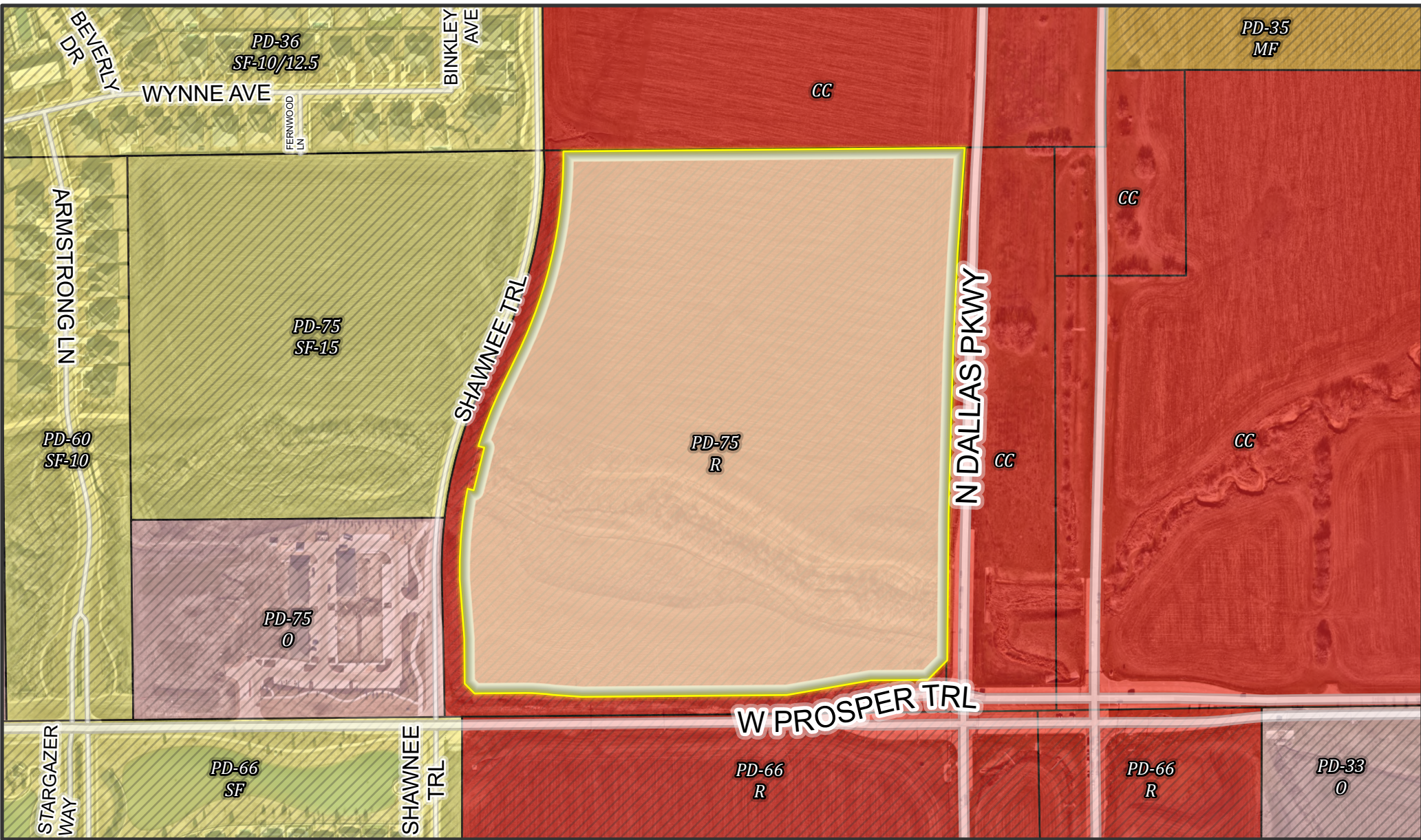
Prosper Arts District

97

Planned Development

This map for illustration purposes only





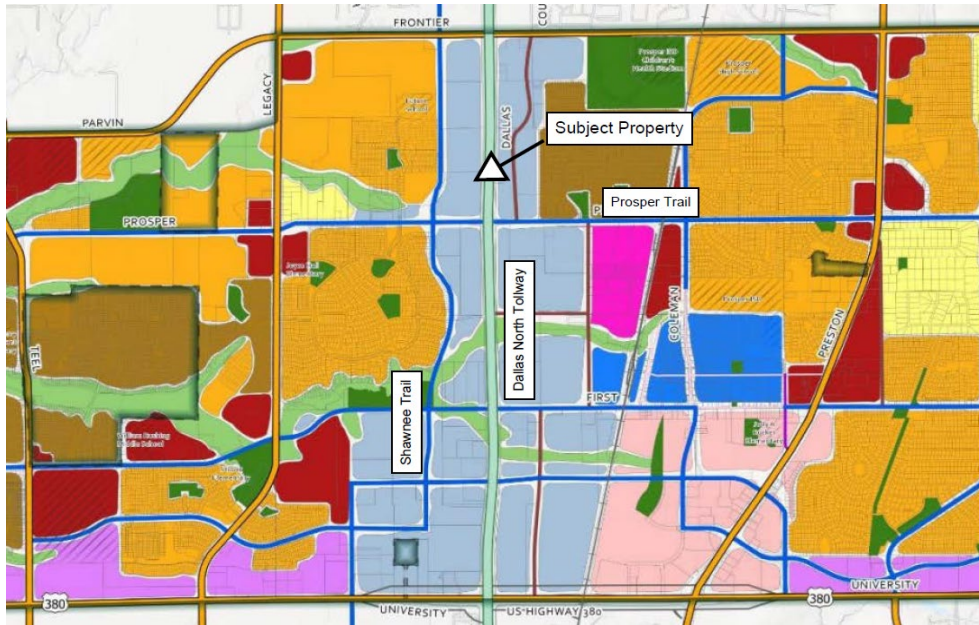
# ZONE-24-0001

Prosper Arts District

Planned Development



## Future Land Use Plan Exhibit



### Future Land Use

- |   |  |   |
|---|--|---|
| <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; border: 1px solid black; margin-right: 5px;"></span> Low Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black; margin-right: 5px;"></span> Medium Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: brown; border: 1px solid black; margin-right: 5px;"></span> High Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: red; border: 1px solid black; margin-right: 5px;"></span> Retail &amp; Neighborhood Services</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: pink; border: 1px solid black; margin-right: 5px;"></span> Business Park</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: blue; border: 1px solid black; margin-right: 5px;"></span> Old Town District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightpink; border: 1px solid black; margin-right: 5px;"></span> Town Center</li> </ul> | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightblue; border: 1px solid black; margin-right: 5px;"></span> Dallas North Tollway District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: purple; border: 1px solid black; margin-right: 5px;"></span> US Highway 380 District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: green; border: 1px solid black; margin-right: 5px;"></span> Parks</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightgreen; border: 1px solid black; margin-right: 5px;"></span> Floodplain</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid black; margin-right: 5px;"></span> School District Properties</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid black; margin-right: 5px;"></span> Town Limits</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px dashed black; margin-right: 5px;"></span> ETJ</li> </ul> | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightblue; border: 1px solid black; margin-right: 5px;"></span> Dallas North Tollway, Dedicated Truck Route</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black; margin-right: 5px;"></span> 6 Lane Divided</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: blue; border: 1px solid black; margin-right: 5px;"></span> 4 Lane Divided</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: brown; border: 1px solid black; margin-right: 5px;"></span> Commercial Collector</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: purple; border: 1px solid black; margin-right: 5px;"></span> 3 Lane Undivided Couplet</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid black; margin-right: 5px;"></span> Access Roads</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid black; margin-right: 5px;"></span> Old Town Roads</li> </ul> |
|---|--|---|

#### Dallas North Tollway District

The Dallas North Tollway District will consist of the most intense land uses within Prosper. A diverse mixture of office, retail, and residential will likely develop along the corridor. Mid-rise office (up to 12 stories) may be permitted throughout the corridor. Office buildings should be designed for a “campus feel”—they should be oriented towards common public space with significant landscaping and should be linked by a pedestrian network. A common architectural theme should also be established for a consistent visual appearance. Mixed-use development should be encouraged and should contain a mixture of office, retail and residential uses. Mixed-use lofts/apartments would be the most appropriate residential use within this District. Structured parking should be encouraged in more intense areas to limit the presence and visibility of large parking lots. Structured parking should be oriented to minimize visibility from the Tollway. The Town may explore an overlay zoning district to better accommodate the preferred development outcomes in the Dallas North Tollway District.

#### Use Appropriateness

- ● ● = Appropriate primary uses
- ● ○ = Conditional as primary uses
- ○ ○ = Conditional as secondary uses
- ○ ○ = Inappropriate use

Residential		Nonresidential	
Agricultural	○ ○ ○	Mixed-Use, Neighborhood Scale	○ ○ ○
Cluster Subdivision	○ ○ ○	Mixed-Use, Community Scale	● ● ●
Single-Family, Large Lot	○ ○ ○	Mixed-Use, Regional Scale	● ● ●
Single-Family, Medium Lot	○ ○ ○	Neighborhood Office and Commercial	● ● ○
Single-Family, Small Lot	○ ○ ○	Regional Office and Commercial	● ● ●
Townhome	○ ○ ○	Neighborhood Shopping Center	● ● ○
Duplex	○ ○ ○	Regional Shopping Center	● ● ●
Senior Housing	● ○ ○	Light Industrial/Flex Space	○ ○ ○
Apartment	● ● ○	Civic/Recreation/Open Space	● ● ○



## Exhibit A-1

### METES AND BOUNDS DESCRIPTION

BEING a tract of land situated in the Collin County School Land #12 Survey, Abstract Number 147, Town of Prosper, Collin County, Texas, being all of a tract conveyed to Prosper Tollway Avenues 35 LP, by deed recorded in Document No. 2022000116052, Official Public Records, Collin County, Texas (OPRCCT), also being all of a tract of land described as Parcel 40-18, by deed recorded in Instrument No. 20060912001319330 OPRCCT, also being a portion of Prosper Trail and Shawnee Trail (variable width right-of-way), according to the plat recorded in Document No. 2018-408 OPRCCT, with the subject tract being more particularly described as follows:

BEGINNING at a point at the northeast corner of said Parcel 40-18, also being in Dallas Parkway (variable width right-of-way);

THENCE along the east line of said Parcel 40-18, the following:

S 00°10'54" E, 326.59 feet;

S 01°07'15" W, 1094.89 feet to a point in the centerline of Prosper Trail;

THENCE S 89°26'13" W, 1521.87 feet along the centerline thereof to a point at the intersection of the centerline of Prosper Trail and the centerline of Shawnee Trail;

THENCE Along the centerline of Shawnee Trail, the following:

N 00°33'47" W, 360.01 feet;

Around a non-tangent curve to the right having a central angle of 26°13'18", a radius of 1099.99 feet, a chord of N 12°33'02" E, 499.04 feet, and an arc length of 503.42 feet;

N 25°39'41" E, 100.00 feet;

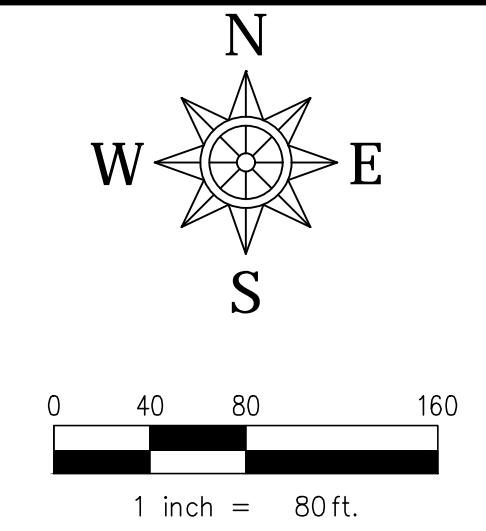
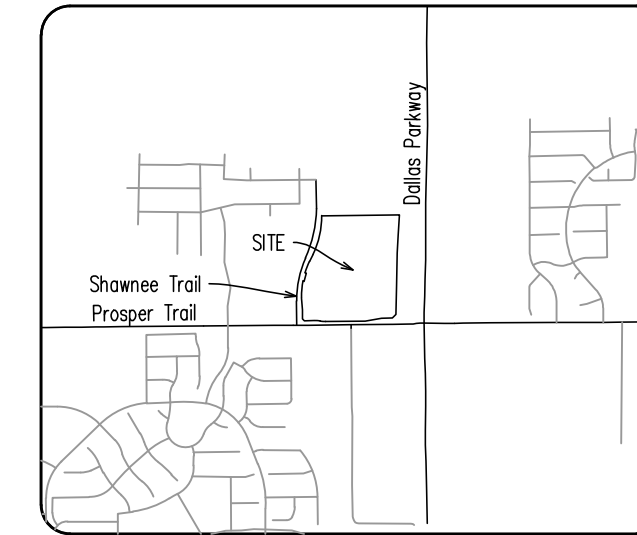
Around a tangent curve to the left having a central angle of 26°12'21", a radius of 1100.00 feet, a chord of N 12°33'31" E, 498.74 feet, and an arc length of 503.12 feet to a point at the southwest corner of a tract of land conveyed to Cothran Malibu LP, by deed recorded in Instrument No. 20150105000009000 OPRCCT;

THENCE N 89°27'26" E, 1285.59 feet along the south line thereof to the POINT OF BEGINNING with the subject tract containing 2,047,881 square feet or 47.013 acres of land.



*This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.*





Basis of bearing: State Plane  
 Coordinate System, Texas North  
 Central Zone 4202, North American  
 Datum of 1983, Adjustment  
 Realization 2011.

**METES AND BOUNDS DESCRIPTION**

BEING a tract of land situated in the Collin County School Land #12 Survey, Abstract Number 147, Town of Prosper, Collin County, Texas, being all of a tract conveyed to Prosper Tollway Avenues 35 LP, by deed recorded in Document No. 2022000116052, Official Public Records, Collin County, Texas (OPR.C.C.T.), also being all of a tract of land described as Parcel 40-18, by deed recorded in Instrument No. 20060912001319330 OPR.C.C.T., also being a portion of Prosper Trail and Shawnee Trail (variable width right-of-way), according to the plat recorded in Document No. 2018-408 OPR.C.C.T., with the subject tract being more particularly described as follows:

BEGINNING at a point at the northeast corner of said Parcel 40-18, also being in Dallas Parkway (variable width right-of-way);

THENCE along the east line of said Parcel 40-18, the following:

S 00°10'54" E, 326.59 feet;

S 01°07'15" W, 1094.89 feet to a point in the centerline of Prosper Trail;

THENCE S 89°26'13" W, 1521.87 feet along the centerline thereof to a point at the intersection of the centerline of Prosper Trail and the centerline of Shawnee Trail;

THENCE Along the centerline of Shawnee Trail, the following:

N 00°33'47" W, 360.01 feet;

Around a non-tangent curve to the right having a central angle of 26°13'18", a radius of 1099.99 feet, a chord of N 12°33'02" E, 499.04 feet, and an arc length of 503.42 feet;

N 25°39'41" E, 100.00 feet;

Around a tangent curve to the left having a central angle of 26°12'21", a radius of 1100.00 feet, a chord of N 12°33'31" E, 498.74 feet, and an arc length of 503.12 feet to a point at the southwest corner of a tract of land conveyed to Cotthran Malibu LP, by deed recorded in Instrument No. 2015010500009000 OPR.C.C.T.;

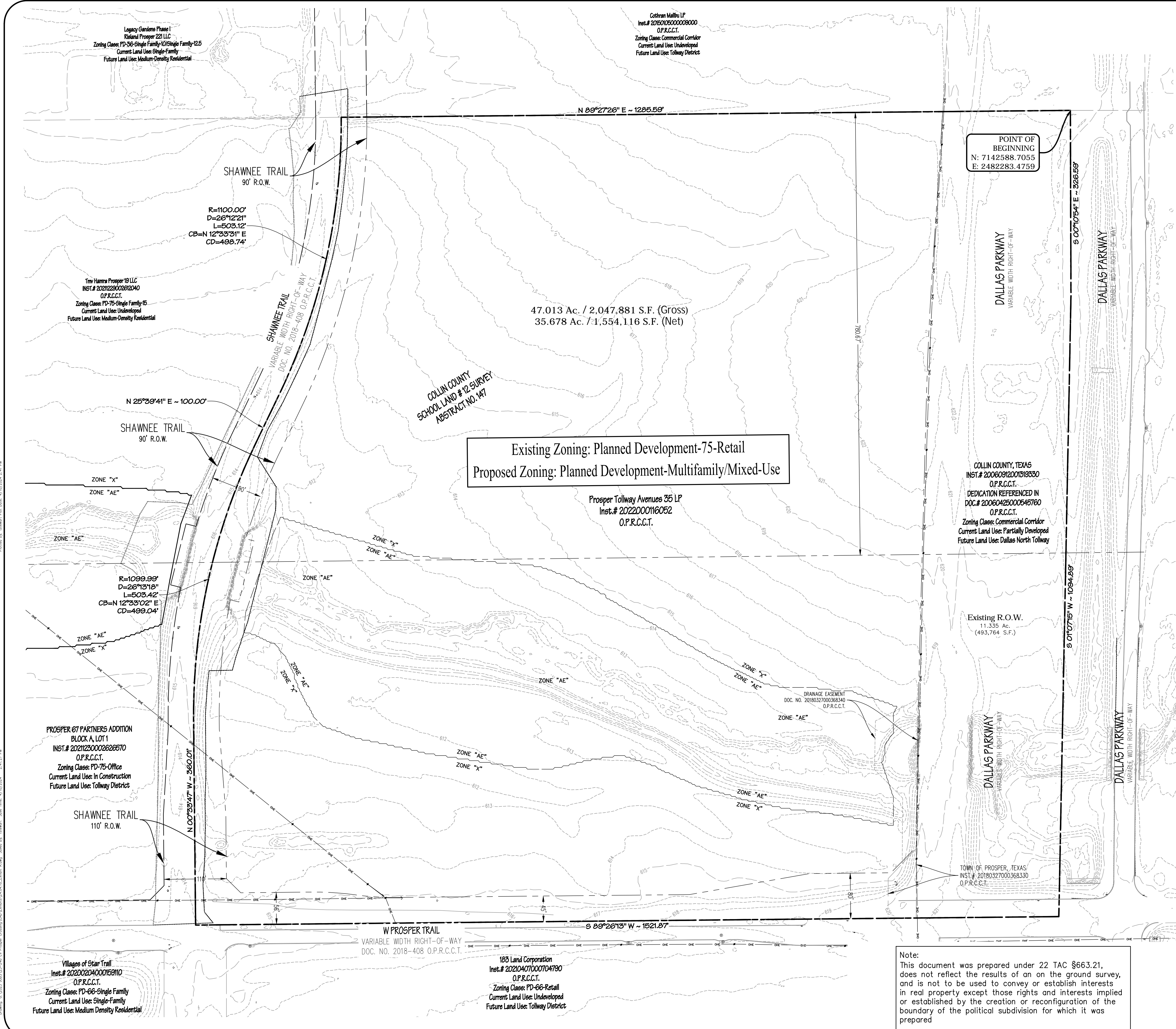
THENCE N 89°27'26" E, 1285.59 feet along the south line thereof to the POINT OF BEGINNING with the subject tract containing 2,047,881 square feet or 47.013 acres of land.

Note:  
 The thoroughfare alignment(s) shown on this exhibit are for illustration purposes and does not set the alignment. The alignment is determined at time of Final Plat.

Note:  
 FEMA Floodplain depicted on this exhibit reflects Flood Insurance Rate Map (FIRM) panel number 48085C0115J, dated 6/2/2009, and Letter of Map Revision (LOMR) Case No. 21-06-1205P, dated 1/27/2022

Existing Zoning: Planned Development-75-Retail  
 Proposed Zoning: Planned Development-Multifamily/Mixed-Use

47.013 Ac. / 2,047,881 S.F. (Gross)  
 35.678 Ac. / 1,554,116 S.F. (Net)



Note:  
 This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared

**EXHIBIT A-2  
 BOUNDARY EXHIBIT  
 PROSPER ARTS DISTRICT  
 2,047,881 SQ. FEET OR 47.013 ACRES (GROSS)  
 1,554,116 SQ. FEET OR 35.678 ACRES (NET)  
 OF LAND OUT OF THE  
 COLLIN COUNTY SCHOOL LAND #12 SURVEY  
 ABSTRACT NO. 147, TRACT 74  
 TOWN OF PROSPER  
 COLLIN COUNTY, TEXAS**

<b>OWNER / APPLICANT</b> Prosper Tollway Avenues 35, LP 5 Cowboys Way, #300 Frisco, TX 75034 Telephone: (630) 987-9275 Contact: Satya Donepudi	<b>ENGINEER</b> Spiars Engineering, Inc. 501 W. President George Bush Hwy, Suite 200 Richardson, TX 75080 Telephone: (972) 422-0077 TBPELS No. F-2121 And No. F-10043100 Contact: Mike Martinie
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Drawing: 01/2023 285132-148 Collin Prosper County 2023/04/18 11:48:18 JABRI, A. and S. By: Howard, S. Date: 4/18/2024 2:41:27 PM  
 Printed by: Howard, S. Date: 4/18/2024 2:41:27 PM



**EXHIBIT B  
STATEMENT OF INTENT AND PURPOSE**

**I. Statement of Intent**

**A. Overall Intent**

This 35.68 acre Tract C zone of PD-75 is intended to be developed in a manner that will allow flexibility of uses including retail, commercial, office, medical office, hotel, multifamily and entertainment. This development will include outdoor amenity space with a detention pond, trails, benches, and public art and will grow into an active community of mixed uses.

**B. Description of Property**

Located at the northwest intersection of the Dallas Parkway and Prosper Trail this 35.68 acre Tract C zone of PD-75 is owned by Satya Donepudi, Prosper Tollway Avenues 35, LP. Shawnee Trail, a four (4) lane divided minor thoroughfare runs north and south along the west side of this zone and will provide access to the proposed uses within the entire development. Driveway access for the development will also be taken off Prosper Trail on the southern boundary of the site and the Dallas Parkway along the eastern boundary. A floodplain, open space and detention basin runs east and west through the site along the creek. With the exception of the existing 20 foot wide paving for Prosper Trail along the southern boundary, the subject Tract C zone of PD-75 is currently vacant. To the north and west of PD-75 is a proposed single-family development, Legacy Crossing (PD-36 and PD-60). To the south is the proposed 880 acre Villages of Star Trail, a Planned Development (PD-66) which incorporates single family, office, retail and commercial zoning. Exhibit A-2 and Exhibit D depict the location and boundary of the project.

**C. Description of Proposed Development**

The location of this project, at the intersection of a major highway and two thoroughfares, lends itself well for mixed-use development including commercial, retail, hotel, office, and multifamily residential.

Tract C is divided into two sub-zones- A Multifamily Zone (approximately 10.6 acres) and a Mixed-Use Zone (approximately 25.1 acres). Uses in the Multifamily Zone include Multifamily residential. Uses in the mixed-use zone include hotel, office, retail, structured parking, indoor event/reception space and Multifamily over retail. The mixed-use zone contains a detention/open space area. A hike and bike trail is proposed within the detention/open space area and will connect to the trail in the neighboring development.

**II. Current Zoning and Future Land Use**

**A. Current Zoning Classification**

The land is currently zoned as PD-75, with Tract C slated exclusively for retail uses including a grocery, gas station, restaurants, fast food, general retail and office/retail.

**B. Future Land Use Plan and Compatibility with the Comprehensive Plan**

The 2023 Future Land Use Plan designates this parcel as Dallas North Tollway District, which is defined in the 2023 Comprehensive Plan as consisting of the most intense land uses with a diverse mixture of office, retail and residential uses. The proposed mix of multi-family residential, hotel, office, retail, and structured parking meet the intention of the Comprehensive Plan.



**EXHIBIT C**  
**Planned Development Standards**

**A. Conformance with the Town's Zoning Ordinance and Subdivision Ordinance.**

1. Unless expressly identified and referenced within this ordinance, the regulations of the Town's Zoning Ordinance (Ordinance No. 05-20), as it exists or may be amended, and the Subdivision Ordinance, as it exists or may be amended, shall apply.
2. The zoning exhibits attached and incorporated into the Planned Development shall serve as a guide for development of the Property. The ultimate layout (including streets, site layout, building uses, and open space areas) shall be determined at the time of Preliminary Site Plan application review by the Planning & Zoning Commission.
3. The developer shall provide an updated Conceptual Plan (Exhibit "D") with each development application if any changes are being made to the most recent Exhibit on file with the Town.
4. Proposed amendments to this Ordinance, or any of the exhibits attached hereto shall be submitted to the Director of Development Services and evaluated in conformance with Zoning Ordinance, Chapter 2, Section 24 (Planned Development District).

**B. Exhibits.**

Use and development of the Property shall be in conformance with the following exhibits:

1. Exhibit B, Statement of Intent and Purpose
2. Exhibit D, Conceptual Plan
3. Exhibit E, Development Schedule
4. Exhibit F, Elevations

**C. Regulations.**

The regulations in Exhibit C shall be the exclusive regulations governing building setbacks and other types of regulations such as, lot area, lot width, lot depth, residential density, dwelling area, height, number of stories, coverage, and floor area ratio.

**D. Project Tracking Plan.**

A Project Tracking Plan shall be submitted with each preliminary site plan, site plan, preliminary plat and final plat to provide context for planning purposes and to serve as a "tracking tool" for compliance with this PD Ordinance. Updates to a Project Tracking Plan may be submitted at any time. It is an informational document that is used for tracking purposes only and no approval of a Project Tracking Plan is required. No rights derived from Chapter 245 of the Texas Local Government Code, as amended, or other vested rights shall accrue from the Project Tracking Plan, and the Project Tracking Plan shall not be deemed to provide "fair notice" as provided therein. Each tracking plan shall track the following:



1. The number of building permits issued for multifamily units in the Mixed-Use Zone and in the Multifamily Zone;
2. the density in the Mixed-Use Zone and in the Multifamily Zone based on approved preliminary site plans and site plans;
3. the acreage and percentage of open space within each Zone;
4. the acreage and percentage of parkland within each Zone and/or fees paid in lieu of parkland per Ordinance requirements;
5. the approximate number of dwelling units (or range), as well as dwelling types, if any, authorized by an approved plat within each Zone and the Property (i.e. overall density summary). For tracking purposes, each Project Tracking Plan submitted with a preliminary site plan or plat application will include a tabular summary of each recorded plat for all or any portion of the Property subject to this PD Ordinance.

**E. Multifamily Zone Development Standards.**

1. Uses. Except as noted below, the Multifamily Zone shall develop in accordance with the Multifamily District, as it exists or may be amended, and in accordance with the regulations described below.
  - i. Permitted Uses. Uses shall be permitted in accordance with the Multifamily District as follows:
    1. Multifamily Dwelling
    2. Accessory Building
    3. House of Worship
    4. Municipal Uses Operated by Town of Prosper
    5. Park or Playground
    6. Private Recreation Center
    7. Home Occupation
2. Regulations.
  - i. Residential Density. Maximum fifty (50) units per acre
  - ii. Size of Yards.
    1. Minimum Front Yard: Ten (10) feet
    2. Minimum Side Yard: Thirty (30) feet for structures adjacent to property that is either zoned for multifamily or non-residential uses
    3. Minimum Rear Yard: Thirty (30) feet for structures adjacent to property that is either zoned for multifamily or non-residential uses
    4. Multiple structures constructed on the same lot shall maintain a minimum separation of thirty (30) feet
  - iii. Maximum Height: Five (5) stories, no greater than sixty (60) feet from finished grade



iv. Minimum Dwelling Area:

1. Efficiency Units (a dwelling unit containing only one habitable room used for combined living, dining, and sleeping purposes plus a private bathroom facilities within the unit) – 570 square feet.
2. One or two bedroom —750 square feet.
3. Additional bedrooms — 150 square feet per additional bedroom.
4. A maximum 10% of the units may be Efficiency Units.
5. No more than 10% of the units may contain three or more bedrooms.

3. Building Configuration.

- i. The arrangement of multifamily buildings shall be organized so that most of the required parking is in the interior of the development, either in surfaced-parked or garage format.
  - ii. The residential buildings should have a strong urban edge. Internal roadways on the front sides of the multi-family buildings shall include on-street parking, either in parallel or angled parking format to further build an urban character.
  - iii. The Multifamily Zone may be gated. If the Multifamily Zone is gated, details and logistics related to being gated will be refined in later planning stages.
  - iv. No more than two trays of parking shall be included on the interior side of grouped residential buildings. A maximum of one row of parking on each side of the drive aisle is permitted on the front side of residential buildings.
  - v. Residential buildings shall have entrances oriented to the sidewalk for ease of pedestrian access and shall be located in such a manner as to minimize conflicts between pedestrians and automobiles. Outward facing residential units on the ground floor may include patio/outdoor space associated with the unit and an exterior door that leads to the sidewalk.
  - vi. Upscale amenities shall include a minimum of five (5) items and be approved by the Director of Development Services. Examples include:
    1. Sport court
    2. Outdoor fitness stations
    3. Swimming pool
    4. Amenity center
    5. Community dog park
4. Off-Street Parking. Multifamily shall be parked at one (1) space per dwelling unit for Efficiency Units and one and one-half (1.5) spaces per dwelling unit for one-bedroom and two-bedroom units. For every additional room, an additional parking space is required. For example, a three-bedroom unit will require two and one-half (2.5) parking spaces. Parking can be a combination of surface parking and private garages associated with individual units.



5. Architectural and Material Standards.

i. Review and Approval Process.

1. Conceptual Architectural and Material Standards.

The applicant shall submit a detailed materials and style plan along with sample elevations and renderings to define the architectural character of the property. This shall be submitted at the time of Preliminary Site Plan submission.

2. Final Architectural and Material Standards.

The applicant shall submit a Façade Plan and Material Sample Board for each structure at the time of Site Plan submission.

3. The conceptual elevations in Exhibit F are intended to evoke a general look and feel of the architecture of the various land use types. Changes to materials and architectural elements are permitted so long as the building elevations adhere to the design guidelines outlined in the Design Guidelines of this Exhibit C.

ii. Design Guidelines.

1. All buildings must be a minimum of eighty percent (80%) primary materials, excluding windows and doors on each façade.

2. Primary materials include fiber cement panel, metal composite material (examples include, but not limited to Centria and Alucobond), steel plate, clay fired brick, natural and manufactured stone, granite, and marble.

3. On each façade, stucco is limited to a maximum ten percent (10%) on the first floor, a maximum thirty percent (30%) on the second and third stories, and a maximum fifty percent (50%) on the fourth story and above.

4. The style of all buildings must be consistent and in keeping with the style of the entire Multifamily Zone.

5. All materials and exterior colors shall be compatible with those used throughout the development.

6. Horizontal and vertical building articulation is required on all elevations. This may be achieved through recessed or projected architectural elements, variations in roof line, etc.

7. No single finish shall cover more than eighty (80) percent of the front of any building.

6. Sidewalks. Sidewalks adjacent to the fronts of buildings shall be a minimum seven (7) feet in width and may include tree wells, landscape beds/plantings, and enhanced pavement.

7. Screening and Retaining Walls.

i. Service, Mechanical and Utility Equipment.

1. All service, mechanical and/or utility equipment, including transformers, shall be completely screened from public view by



- architectural screens, masonry screening walls, and/or landscaping.
- 2. When possible, all service areas and mechanical equipment shall be located at the rear of the building and out of view of the roadways.
  - ii. Screening and retaining walls shall be finished with a masonry veneer compatible with the materials of the surrounding development.
- 8. Landscape Buffers. A minimum of a twenty-five (25) foot landscape buffer is required along Prosper Trail, minimum of a twenty-five (25) foot landscape buffer is required along Shawnee Trail, and a minimum thirty (30) foot buffer is required along Dallas Parkway.

**F. Mixed-Use Zone Development Standards.**

- 1. Uses. Except as noted below, the Mixed-Use Zone of Tract C shall develop in accordance with the Retail District, as it exists or may be amended, and in accordance with the regulations described below.
  - i. Permitted Uses:
    - 1. Administrative, Medical or Professional Office
    - 2. Alcohol Beverage Establishment
    - 3. Alcohol Beverage Sales
    - 4. Antique Shop and Used Furniture
    - 5. Artisan's Workshop
    - 6. Automobile Parking Lot/Garage
    - 7. Automobile Paid Parking Lot/Garage
    - 8. Bank, Savings and Loan, or Credit Union
    - 9. Beauty Salon/Barber Shop
    - 10. Business Service
    - 11. Caretaker's/Guard's Residence
    - 12. Catering
    - 13. Civic/Convention Center
    - 14. Commercial Amusement, Indoor
    - 15. Community Center
    - 16. Convenience Store without Gas Pumps
    - 17. Dry Cleaning, Minor
    - 18. Farmer's Market
    - 19. Furniture, Home Furnishings and Appliance Store
    - 20. Furniture Restoration, as an accessory use to a Furniture Store
    - 21. Governmental Office
    - 22. Gymnastics/Dance Studio
    - 23. Health/Fitness Center
    - 24. Homebuilder Marketing Center
    - 25. Hospital
    - 26. Hotel, Full Service
    - 27. Hotel, Residence/Extended Stay (for rehabilitation purposes in conjunction with Medical Office)
    - 28. House of Worship



29. Insurance Office
30. Locksmith/Security System Company
31. Meeting/Banquet/Reception Facility
32. Mobile Food Vendor
33. Multifamily, if over a minimum 1-floor of non-residential uses.
34. Municipal Uses Operated by the Town of Prosper
35. Museum/Art Gallery
36. Outdoor Merchandise Display, Temporary
37. Park or Playground
38. Pet Day Care
39. Print Shop, Minor
40. Private Club
41. Private Recreation Center
42. Restaurant (without a drive-through)
43. Retail Stores and Shops
44. Retail/Service Incidental Use
45. Theater, Neighborhood
46. Veterinarian Clinic and/or Kennel, Indoor

ii. Permitted with Specific Use Permit:

1. Commercial amusement, Outdoor
2. Helistop
3. Outdoor Merchandise Display, Incidental
4. Rehabilitation Care institution
5. Utility Distribution/Transmission Facility
6. Body Art Studio

2. Regulations.

- i. Residential Density. Maximum sixty (60) dwelling units per acre, up to 350 total units.

ii. Size of Yards.

1. Minimum Front Yard: No minimum front yard setbacks
2. Minimum Side Yard:
  - a. Ten feet, subject to provision of fire-retardant wall as required by adopted edition of the Unified Building Code.
  - b. Ten feet without fire retardant wall.
3. Minimum Rear Yard:
  - a. None, if abutting an alley or fire lane and constructed with fire retardant wall.
  - b. Ten feet or none if attached to an adjacent building and constructed with fire retardant wall.
  - c. Ten feet without alley separation or fire-retardant wall.

iii. Size of Lots.

1. Minimum Lot Area: 30,000 square feet
2. Minimum Lot Width: 120 feet



3. Minimum Lot Depth: 250 feet
  - iv. Minimum Dwelling Area:
    1. Efficiency Units (a dwelling unit containing only one habitable room used for combined living, dining, and sleeping purposes plus a private bathroom facilities within the unit) – 570 square feet.
    2. One or two bedroom —750 square feet.
    3. Additional bedrooms — 150 square feet per additional bedroom.
    4. A maximum 10% of the units may be Efficiency Units.
    5. No more than 10% of the units may contain three or more bedrooms.
  - v. Maximum Height: 9 stories, no greater than 110 feet along Shawnee Trail and 14 stories, no greater than 170 feet along Dallas Parkway.
  - vi. Lot Coverage: Fifty-five percent (55%)
  - vii. Floor Area Ratio: Maximum 2.25:1
3. Building Configuration.
- i. Multifamily structures shall be attached to structured parking by a covered walkway or connector element.
  - ii. First Floor: The ceiling height of the first floor shall be a minimum fourteen (14) feet in height.
  - iii. Garage Height:
    1. Attached Garages: Attached garages are those that are directly connected to another building. The height of the garage shall not exceed the height of an adjoining or exterior building and all associated appurtenances, such as an elevator shaft or mechanical equipment, shall be completely screened.
    2. Detached Garages: The height of detached garages shall not exceed seven (7) stories or seventy-five (75) feet in height.
4. Off-Street Parking.
- i. Multifamily shall be parked at one (1) space per dwelling unit for efficiency units and one and one-half (1.5) spaces per dwelling unit for one-bedroom and two-bedroom units. For every additional room, an additional parking space is required. For example, a three-bedroom unit will require two and one-half (2.5) parking spaces.
  - ii. A shared parking strategy is encouraged to reduce the required parking needed in the Mixed-Use Zone based on peak time demands. Shared parking agreements for adjacent properties should include a written agreement between property owners that clearly stipulates the terms of the



joint use of the parking spaces. The shared parking agreement should include parking ratios per use that will be agreed upon between the developer and Town Staff during the Preliminary Site Plan review phase.

- iii. When a building includes Multifamily uses, the resident parking shall be provided in a structured garage. A section of the garage may be gated specifically for Multifamily use. If the Multifamily parking is gated from the parking utilized for other uses in the structured garage, details and logistics related to being gated will be refined in the Preliminary Site Plan review phase. Visitor parking and other ancillary uses associated with the Multifamily uses may be located between the building and a public street when located at or beyond the required landscape setback and screened with a headlight screen of earthen berms and/or a row of shrubs.
- iv. Parking in a structured garage shall be a minimum nine (9) feet in width and a minimum twenty (20) feet in depth.

5. Architectural and Material Standards.

i. Review and Approval Process.

1. Conceptual Architectural and Material Standards.

The applicant shall submit a detailed materials and style plan along with sample elevations and renderings to define the architectural character of the property. This shall be submitted at the time of Preliminary Site Plan submission.

2. Final Architectural and Material Standards.

The applicant shall submit a Façade Plan and Material Sample Board for each structure at the time of Site Plan submission.

3. The conceptual elevations in Exhibit F are intended to evoke a general look and feel of the architecture of the various land use types. Changes to materials and architectural elements are permitted so long as the building elevations adhere to the design guidelines outlined in the Design Guidelines of this Exhibit C. The Mixed-Use Zone should offer architectural diversity between buildings, with each structure contributing its own unique flair that blends styles, materials, and artistic expressions in this dynamic arts district.

4. Structured Garages. Any elevation or portion of an elevation of a structured garage that is not wrapped by a building or is visible from Dallas Parkway/Tollway shall have architectural styles and materials compatible with the adjacent or attached structure to ensure the exposed structured garage elevation gives the appearance of a building rather than a blank parking garage. Cladding, murals, or other artistic expressions should be used to enhance the overall architectural character of the structured garage.



ii. Design Guidelines.

1. All buildings must be a minimum of eighty percent (80%) primary materials, excluding windows and doors on each façade.
  2. For purposes of this section, primary materials shall include: fiber cement panel, metal composite material (examples include, but not limited to Centria and Alucobond), steel plate, clay fired brick, natural and manufactured stone, granite, and marble.
  3. On each façade, stucco is limited to a maximum ten percent (10%) on the first floor, a maximum thirty percent (30%) on the second and third stories, and a maximum fifty percent (50%) on the fourth story and above.
  4. All materials and exterior colors shall be compatible throughout the development.
  5. Horizontal and vertical building articulation is required on all elevations. This may be achieved through recessed or projected architectural elements, variations in roof line, etc.
  6. No single finish shall cover more than eighty (80) percent of the front of any building.
  7. Storefronts on façade treatments that span multiple tenants shall use architecturally compatible materials, colors, details, awning signage, and lighting fixtures. Retail ground floor shall have windows covering a minimum of 60% of the major street and/or public-realm fronting façade(s).
6. Sidewalks. Sidewalks adjacent to the fronts of primary buildings, along drive aisles and parking rows, shall be a minimum fifteen (15) feet in width and may include tree wells, landscape beds/plantings, and enhanced pavement.
7. Screening and Retaining Walls.
- i. Service, Mechanical and Utility Equipment.
    1. All service, mechanical and/or utility equipment, including transformers, shall be completely screened from public view by architectural screens, masonry screening walls, and/or landscaping.
    2. When possible, all service areas and mechanical equipment shall be located at the rear of the building and out of view of the roadways.
  - ii. Screening and retaining walls shall be finished with a masonry veneer compatible with the materials of the surrounding development.
8. Landscape Buffers. A minimum of a twenty-five (25) foot landscape buffer is required along Prosper Trail, minimum of a twenty-five (25) foot landscape buffer is required along Shawnee Trail, and a minimum thirty (30) foot buffer is required along Dallas Parkway.



### **G. Useable Open Space and Trails.**

Usable open space is to be laid out in a way that provides equal access to both the Multifamily Zone and Mixed-Use Zone.

#### **1. Useable Open Space.**

- i. A minimum of 15% of the property (35.68 acres) is required to be open space which will be provided through the entire development.
- ii. A minimum 30% of the Multifamily Zone area is required to be open space. At least one-third of this open space is to be within the boundary of the Multifamily Zone. The remaining two-thirds of the required minimum open space for the Multifamily Zone is included as part of the entire project, can be located in the Mixed-Use Zone, and will require an easement, shared property right, or other form of agreement through the property owners association to be determined in later planning or development stages.
- iii. Any use of the floodplain as open space shall be approved by the Director of Engineering Services.
- iv. This space may include detention and floodplain areas. No more than (60%) of the useable open space can be detention or within the floodplain.
- v. Useable open space shall be a minimum of 35 feet in width, unless otherwise approved by the Director of Development Services, or his/her designee.
- vi. Useable open space in the floodplain shall include walking trails, sculptures/artwork, benches, and other amenities as outlined in item viii.
- vii. Buildings shall face and/or side to the open space to the greatest extent possible to provide pedestrian access and areas of congregation along the open space.
- viii. A minimum of six (6) amenities shall be provided within the open space and shall be approved by the Director of Development Services. Examples include:
  1. Outdoor fitness stations
  2. Areas of decorative pavement
  3. Benches and other seating areas
  4. Durable shade structure such as a pavilion or pergola
  5. Sport court
  6. Fire pits and lounging areas
  7. Water features, including fountains and ponds outside the detention area
  8. Any other similar improvement approved by the Director of Development Services or his/her designee.



2. Trails.

- i. All trails shall comply with the Hike & Bike Master Plan.
- ii. A ten-foot (10') trail is required along Dallas Parkway and Prosper Trail, and a six-foot (6') sidewalk is required along all other public roadways.
- iii. Trails within the development shall connect to the trails along the roadways.

3. Planting Standards.

- i. One (1) – Four (4) in caliper evergreen tree shall be planted per thirty (30) feet of linear open space area. These trees shall be planted in groups with appropriate spacing for species.
- ii. One (1) – Three (3) inch caliper ornamental tree shall be planted per thirty (30) linear feet of open space area. These trees may be planted in groups with appropriate spacing for species.
- iii. A minimum of fifteen (15) shrubs with a minimum size of five (5) gallons each shall be planted per thirty (30) linear feet of open space area. These shrubs may be planted in groups with appropriate spacing for species.
- iv. It is intended that all plant types promote a natural landscape. Where possible, the planting shall be in accordance with the general planting style.

**H. Detention/Retention.**

Detention located within the Floodplain must meet all Town of Prosper, FEMA and all other applicable regulations.

**I. Public Art.**

An amount of not less than twenty-four (24) public art installations shall be included throughout the entire project. Approximate locations for public art are denoted on Exhibit D, which includes locations at significant entry points into the development along the Tollway. The Director of Development Services shall determine the location and types of public art.

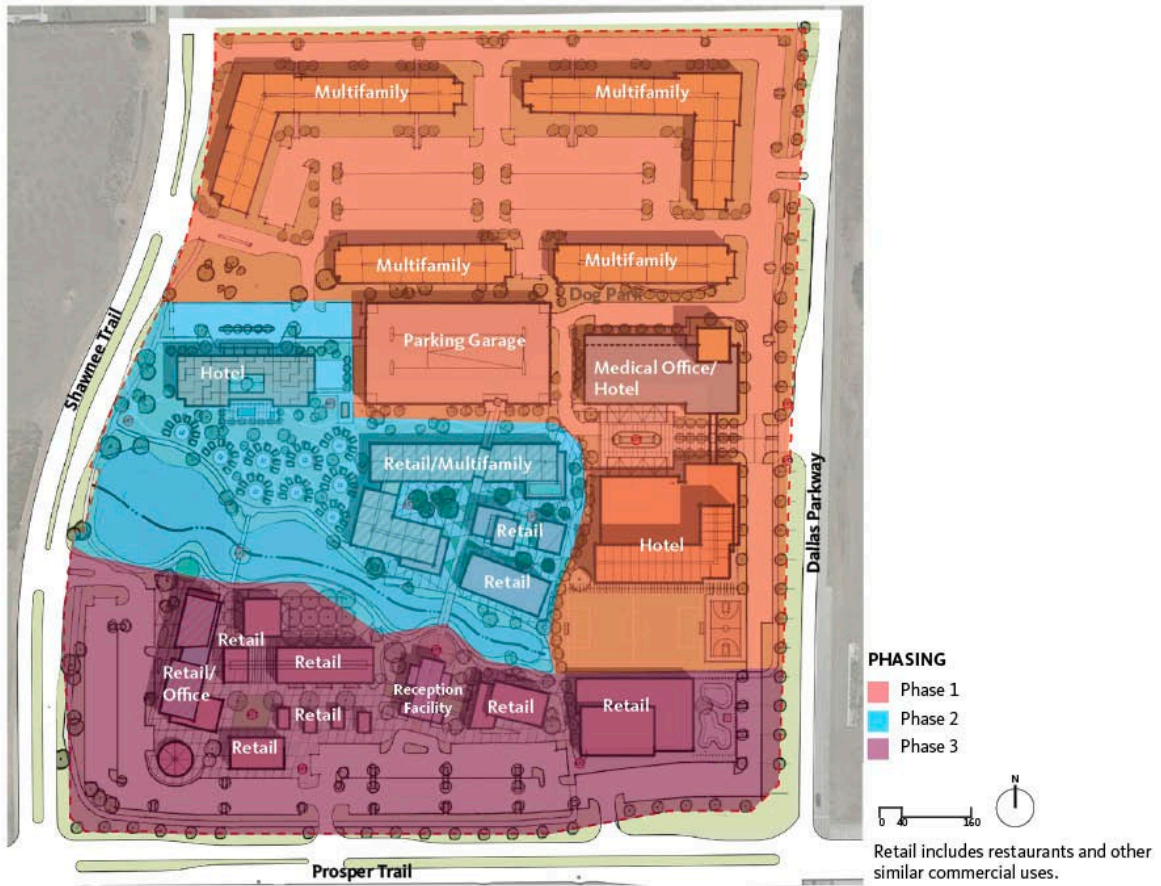
**J. Phasing.**

Phase 1: Multifamily Zone, Trail System, Hotel on the east, Parking Garage, Extended Stay Hotel/Medical Office Tower on the east  
Phase 2: Hotel on the west, Mixed-Use Multifamily, Retail  
Phase 3: Retail and Office on Prosper Trail/Shawnee

A phasing diagram for the entire development is depicted below.




### PHASING DIAGRAM

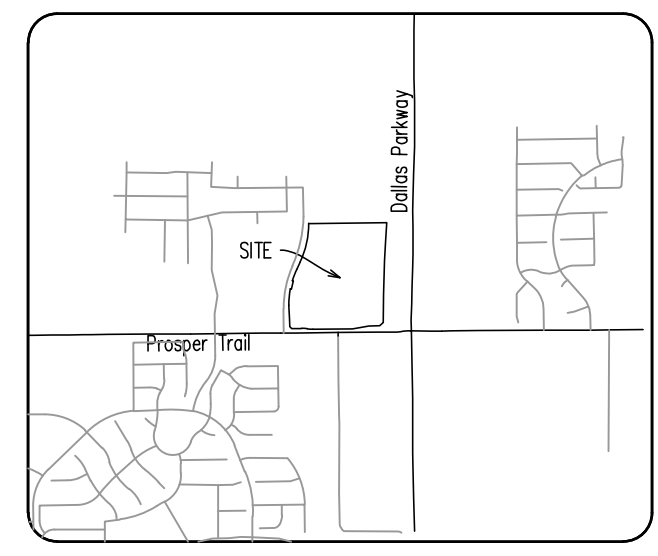
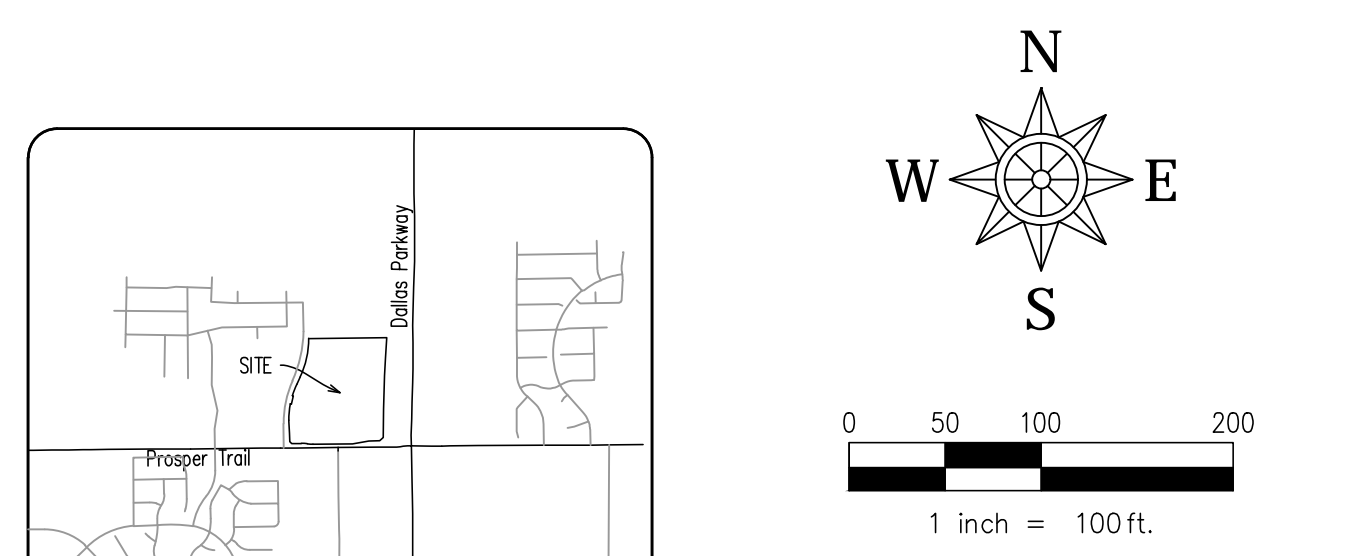




Legacy Gardens Phase I  
 Risland Prosper 221 LLC  
 Zoning Class: PD-36-Single Family-10/Single Family-12.5  
 Current Land Use: Single-Family  
 Future Land Use: Medium-Density Residential

Cottrhan Malibu LP  
 Inst.# 20150105000009000  
 O.P.R.C.C.T.  
 Zoning Class: Commercial Corridor  
 Current Land Use: Undeveloped  
 Future Land Use: Tollway District

Note:  
 Approximate location of public art.



LOCATION MAP  
 1" = 2500'

Site Data Summary Table	
Multifamily Zone	
Max. Permitted Density	50 du/ac
Min. Front Yard Setback	10'
Min. Side Yard Setback	30' for structures adjacent to property line that is either zoned for Multi-Family or non-residential uses; Multiple structures constructed on the same lot shall maintain a minimum separation of 30'
Min. Rear Yard Setback	30' for structures adjacent to property line that is either zoned for Multi-Family or non-residential uses
Max. Height	5 stories, no greater than 60 feet from finished grade
Shawnee Trail Landscape Buffer	25'
Dallas Parkway Landscape Buffer	30'
Prosper Trail Landscape Buffer	25'
Mixed-Use Zone	
Min. Front Yard Setback	None
Min. Side Yard Setback	10' subject to provision of fire retardant wall as required by adopted edition of the Unified Building Code; 10 feet without fire retardant wall.
Min. Rear Yard Setback	None, if abutting an alley or fire lane and constructed with fire retardant wall; 10' subject to provision of fire retardant wall as required by adopted edition of the Unified Building Code; 10' without alley separation or fire-retardant wall.
Min. Lot Area	30,000 sq. ft
Min. Lot Width	120'
Min. Lot Depth	250'
Max. Height	9 stories, no greater than 110 feet along Shawnee Trail and 14 stories, no greater than 170 feet along Dallas Parkway
Lot Coverage	55%
Floor Area Ratio	2.25:1
Shawnee Trail Landscape Buffer	25'
Dallas Parkway Landscape Buffer	30'
Prosper Trail Landscape Buffer	25'

Note:  
 The thoroughfare alignment(s) shown on this exhibit are for illustration purposes and does not set the alignment. The alignment is determined at time of Final Plat.

Note:  
 All proposed driveways shall meet all Town of Prosper standards in regards to spacing, throat depth, and such.

Note:  
 The Traffic Impact Analysis (TIA) shall be provided at time of Preliminary Site Plan. Additional improvements or modifications may be required to accommodate results.

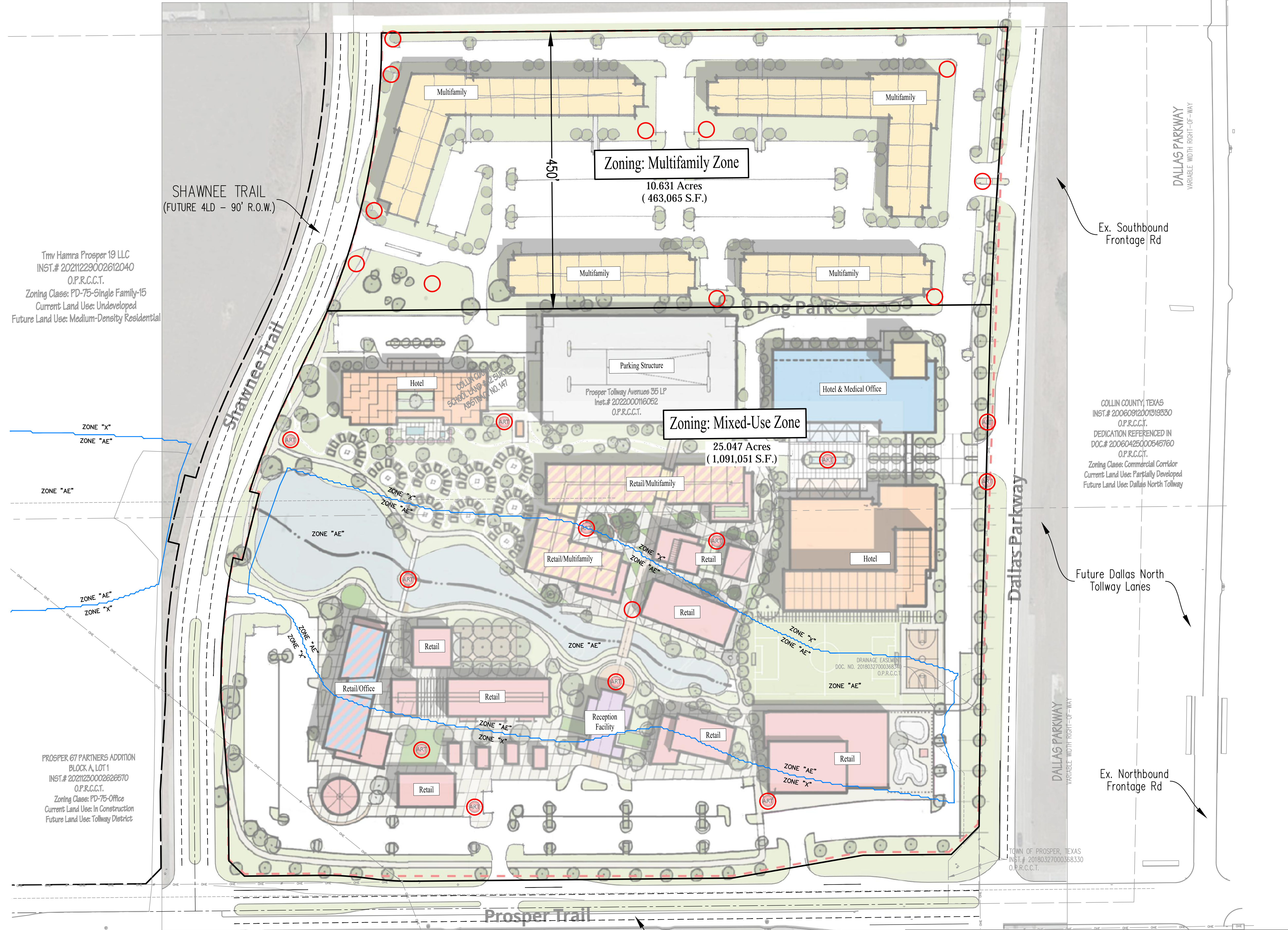
Note:  
 FEMA Floodplain depicted on this exhibit reflects Flood Insurance Rate Map (FIRM) panel number 48085C0115J, dated 6/2/2009, and Letter of Map Revision (LOMR) Case No. 21-06-1205P, dated 1/27/2022

EXHIBIT D CONCEPTUAL PLAN  
**PROSPER ARTS DISTRICT**  
 2,047,881 SQ. FEET OR 47.013 ACRES (GROSS)  
 1,554,116 SQ. FEET OR 35.678 ACRES (NET)  
 OF LAND OUT OF THE  
 COLLIN COUNTY SCHOOL LAND #12 SURVEY  
 ABSTRACT NO. 147, TRACT 74  
 TOWN OF PROSPER,  
 COLLIN COUNTY, TEXAS

PROJECT NO. ZONE-24-0001

OWNER / APPLICANT  
 Prosper Tollway Avenues 35, LP  
 5 Cowboys Way, #300  
 Frisco, TX 75034  
 Telephone: (630) 987-9275  
 Contact: Satya Donepudi

ENGINEER  
 Spiers Engineering, Inc.  
 501 W. President George Bush Hwy, Suite 200  
 Richardson, TX 75080  
 Telephone: (972) 422-0077  
 TBPELS No. F-2121 And No. F-10043100  
 Contact: Mike Martinie



Timv Hamra Prosper 19 LLC  
 INST.# 20211229002612040  
 O.P.R.C.C.T.  
 Zoning Class: PD-75-Single Family-15  
 Current Land Use: Undeveloped  
 Future Land Use: Medium-Density Residential

ZONE "X"  
 ZONE "AE"  
 ZONE "AE"  
 ZONE "AE"  
 ZONE "X"

PROSPER 67 PARTNERS ADDITION  
 BLOCK A, LOT 1  
 INST.# 20211250002626570  
 O.P.R.C.C.T.  
 Zoning Class: PD-75-Office  
 Current Land Use: In Construction  
 Future Land Use: Tollway District

Villages of Star Trail  
 Inst.# 20200204000159110  
 O.P.R.C.C.T.  
 Zoning Class: PD-66-Single Family  
 Current Land Use: Single-Family  
 Future Land Use: Medium Density Residential

185 Land Corporation  
 Inst.# 20210407000704790  
 O.P.R.C.C.T.  
 Zoning Class: PD-66-Retail  
 Current Land Use: Undeveloped  
 Future Land Use: Tollway District

W PROSPER TRAIL  
 (FUTURE 4LD - 90' R.O.W.)

Note:  
 The conceptual layout generally depicts intent, but final layout shall be determined at time of Preliminary Site Plan, and shall meet all Town requirements including, but not limited to, ALL Fire Code requirements. Engineering Design Standards as it relates to driveway spacing, throat depth and turn lane requirements, standard Town landscape requirements if not otherwise defined in Exhibit C (Development Standards), and all development standards listed throughout the Town Zoning Ordinance also if not otherwise defined in Exhibit C. In addition, all other local, state, and federal regulations as it relates to the floodplain and waters of the US, or other shall be adhered. There are no vested rights with the approval of the layout of this zoning case depicted in Exhibit D.



## EXHIBIT E DEVELOPMENT SCHEDULE

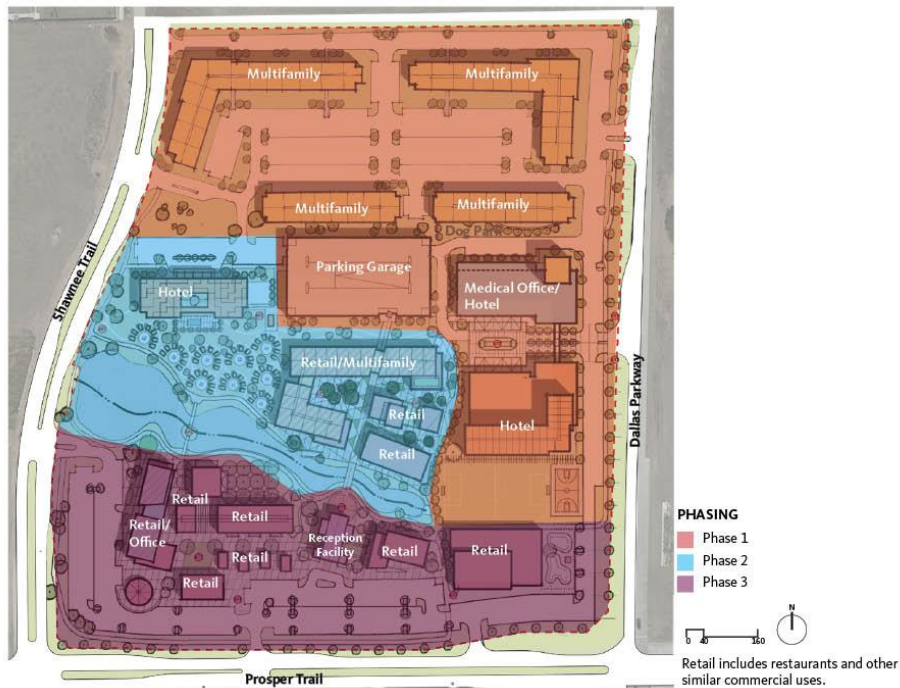
The phasing and development of this project is dependent upon market conditions and the construction of the Dallas North Tollway and Prosper Trail. Upon initiation of development, the project is expected to be completed in three (3) phases. The following is the anticipated construction schedule:

Phase 1: Multifamily Zone, Trail System, Hotel on the east, Parking Garage, Extended Stay Hotel/Medical Office Tower on the east

Phase 2: Hotel on the west, Mixed-Use Multifamily, Retail

Phase 3: Retail and Office on Prosper Trail/Shawnee

### PHASING DIAGRAM





# EXHIBIT F - CONCEPTUAL ELEVATIONS : RETAIL



The imagery shown in this Exhibit F are intended to evoke a general look and feel for the architecture. Detailed material/style plans along with facade plans/elevations must be submitted at the time of Preliminary Site Plan and/or Site Plan approval.



# EXHIBIT F - CONCEPTUAL ELEVATIONS : HOTEL



The imagery shown in this Exhibit F are intended to evoke a general look and feel for the architecture. Detailed material/style plans along with facade plans/elevations must be submitted at the time of Preliminary Site Plan and/or Site Plan approval.



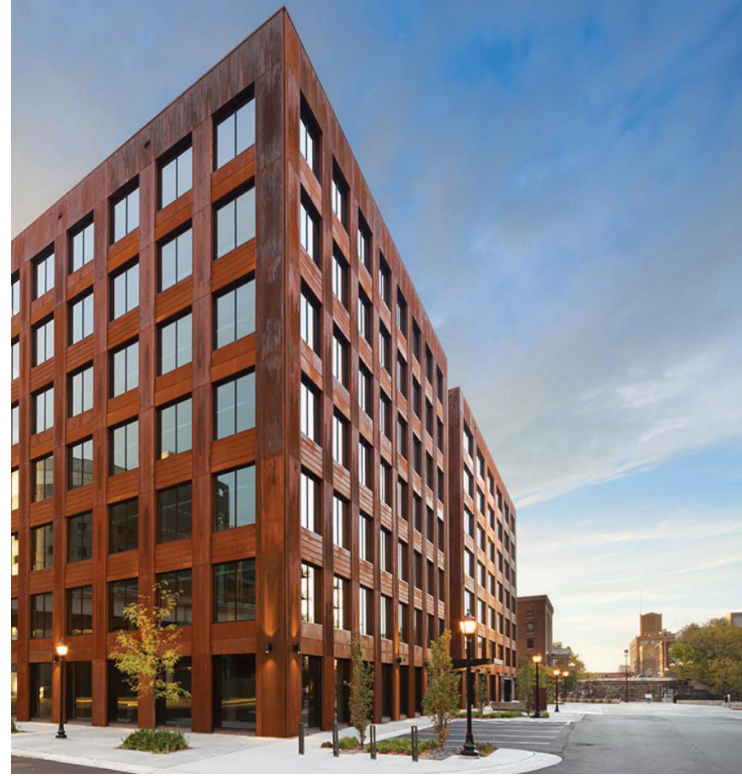
# EXHIBIT F - CONCEPTUAL ELEVATIONS : MULTIFAMILY



The imagery shown in this Exhibit F are intended to evoke a general look and feel for the architecture. Detailed material/style plans along with facade plans/elevations must be submitted at the time of Preliminary Site Plan and/or Site Plan approval.



# EXHIBIT F - CONCEPTUAL ELEVATIONS : OFFICE



The imagery shown in this Exhibit F are intended to evoke a general look and feel for the architecture. Detailed material/style plans along with facade plans/elevations must be submitted at the time of Preliminary Site Plan and/or Site Plan approval.